

Statement – FNDC public consultation: Russell Wharf

Far North District Council is consulting with ratepayers across the district about whether to transfer ownership of Russell Wharf from Council to Far North Holdings Ltd (the Council-owned 'delivery vehicle' for Council's commercial activities).

The proposed transfer forms part of the Long-Term Plan (2018-2028) on which Council is currently consulting with ratepayers. The question about whether to transfer Russell Wharf to Far North Holdings ownership is one of 15 specific issues on which Council is seeking ratepayer feedback.

Here is some context and background to Far North Holdings' involvement with and interest in Russell Wharf.

- Far North Holdings already operates Russell Wharf on behalf of the community, under a lease from the Far North District Council. So whether it leases the wharf, or owns it, nothing would change regarding the way it is operated or accessed.

It would continue to charge only commercial operators wishing to use the wharf (as it does today). In fact, Far North Holdings' aim and ambition is to improve and encourage public access to the wharf. It has no interest in charging ratepayers to use the facility.

Importantly: Russell Wharf would still be a ratepayer-owned facility, simply stewarded by Far North Holdings instead of Council.

- Far North Holdings proposes to buy Russell Wharf off Far North District Council so it can borrow money against it to raise funds for re-development, working closely with the Russell Waterfront Trust. The benefit of this fund-raising model is that it doesn't cost Council – or ratepayers – a single dollar. Importantly, these borrowed funds would be repaid with income generated by Far North Holdings' overall commercial operation.
- Far North Holdings and the Russell Waterfront Trust have had a long-standing and mutually beneficial relationship for a long time. This wharf regeneration plan and the proposed funding model has been developed with the Trust's full knowledge and oversight.
- Similarly, for the past 12 months Far North Holdings has been working in close co-operation with the tenant of the current wharf building that is home to the information centre and has listened carefully to her plans and ideas for the wharf. The proposed redevelopment of this

building will help the tenant improve the offering and facilities that her business is able to make available for local and tourist customers.

- If the Wharf was to be transferred to Far North Holdings ownership the company would be perfectly willing for a covenant to be included in the Title, stating that it would not be sold to any Third Party other than the local community in the form of the Russell Waterfront Trust, if the FNDC so desired. Such a covenant would not be strictly necessary, though, as the wharf is a key maritime infrastructure asset which means that it could not be sold without the approval of elected Council representatives.

This image, taken from the Long-Term Plan consultation document, summarises the situation well. The Russell Wharf proposal is laid out for review on Page 23 of [that document](#), which is accessible from the homepage of the FNDC website.

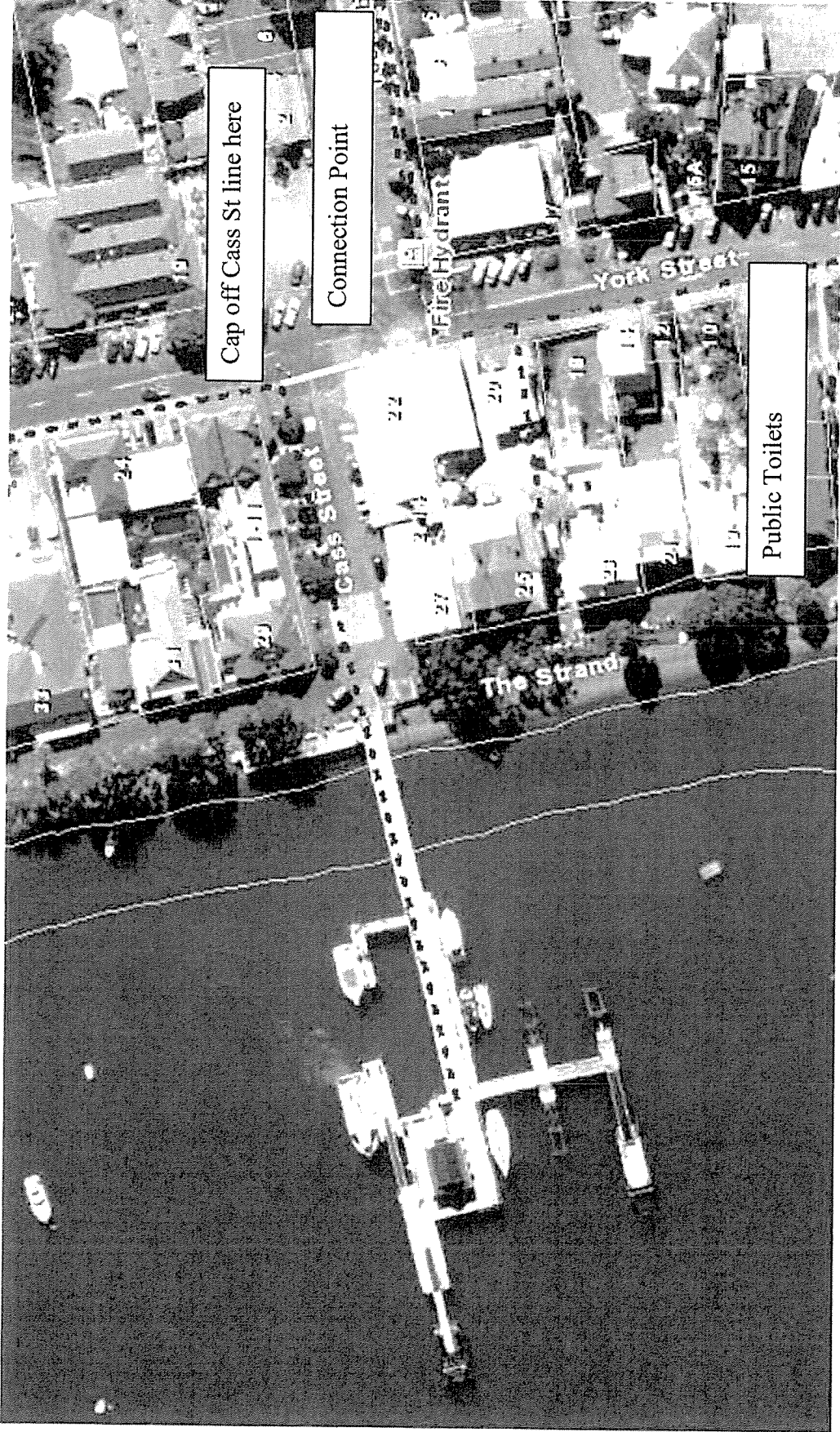
Options

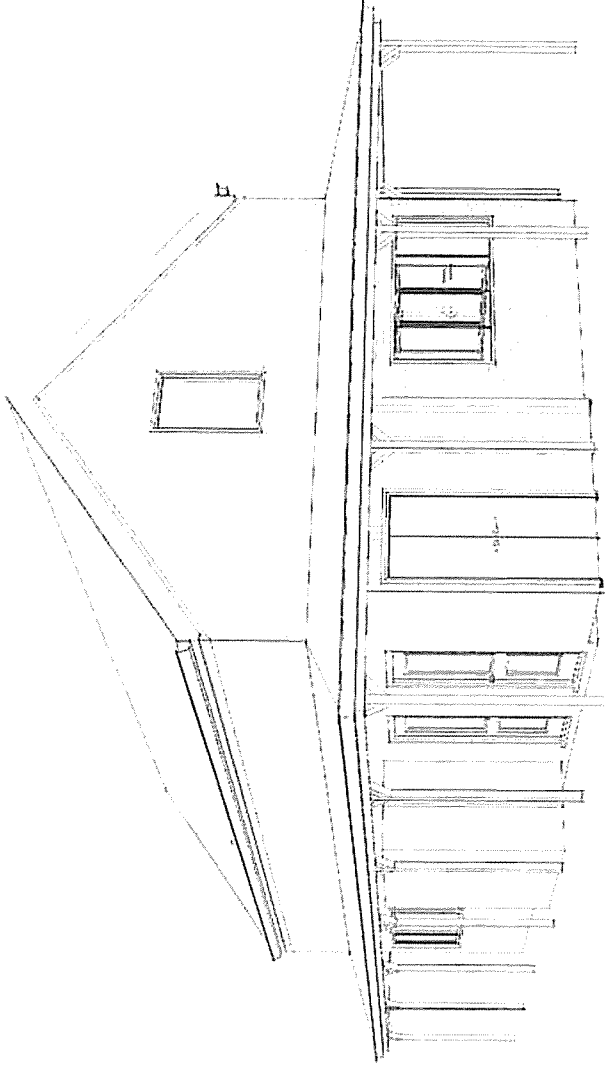
4a. Transfer the wharf to FNHL	Cost	Annual ratepayer impact
We could transfer the wharf to FNHL for \$1 and remove the currently allocated depreciation, maintenance, renewal and improvement funding from our budgets, saving ratepayers from \$93,000 in year 1 to \$156,000 in year 10.	Potential annual savings between	2018/19
	\$93,000 and	2019/20
	\$156,000	2020/21
		2021-28
		-\$1.2
		-\$1.2
		-\$1.3
		-\$1.70 average per year
4b. Council retains ownership of the wharf	Cost	Annual ratepayer impact
The alternative is not to transfer ownership of the wharf and FNHL would continue to maintain on behalf of Council.	No change to current costs	No change to rates
Current depreciation, maintenance, renewal and improvement budgets for the wharf would remain unchanged.		

Far North Holdings joins FNDC Councillors and staff in encouraging ratepayers to review the Long-Term Plan consultation document and to submit feedback on the issues it is consulting on, as well as on any other matter to do with the plan. Submissions can be emailed to submissions@fndc.govt.nz or completed online [here](#).

In addition to managing Far North infrastructure on behalf of ratepayers, Far North Holdings promotes investment and employment across the district. It uses its assets and expertise to help local businesses and communities identify commercial potential and make the most of opportunities that come their way. Its focus is on maximising the economic potential of the Far North, for the benefit of all ratepayers.

For more than a decade 50 percent of FNHL's trading surplus has been distributed to the Far North District Council or reinvested in property and infrastructure. Without this income, general rates across the District would have been about four percent higher each year.



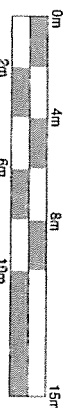
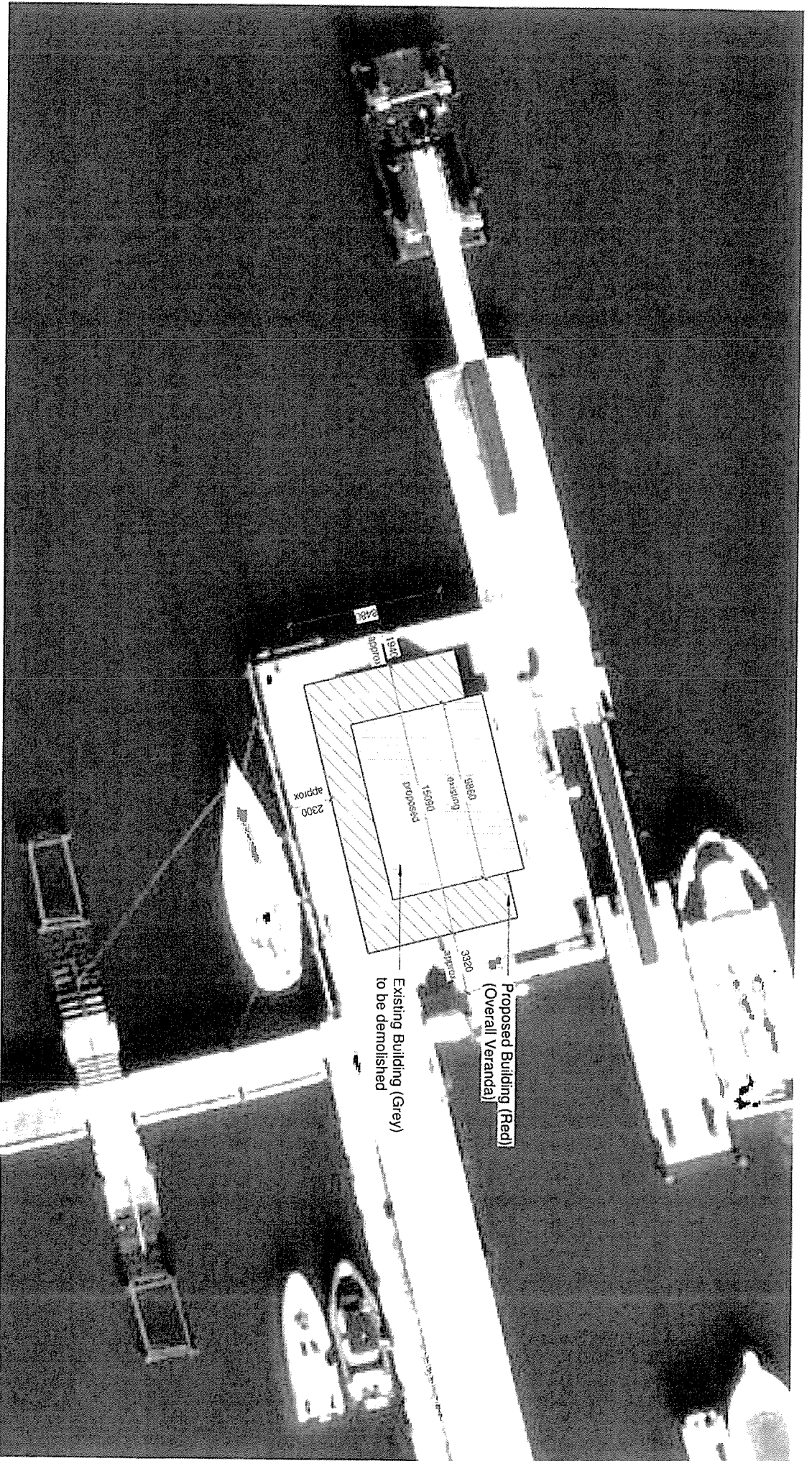


FAR NORTH HOLDINGS
RUSSELL WHARF / KIOSK
BAY OF ISLANDS
FAR NORTH
ENGINEERING SET

SHEET INDEX	
SHEET NAME	SHEET NUMBER
COVER SHEET & INDEX	A-001
SITE PLAN	A-100
FLOOR PLAN	A-101
FIRST FLOOR PLAN	A-102
BRACING LAYOUT	A-103
MEZZANINE SUBFLOOR LAYOUT	A-104
PLUMBING LAYOUT	A-106
ROOFING LAYOUT	A-107
ELEVATIONS (NORTH & EAST)	A-201
ELEVATIONS (SOUTH & WEST)	A-202
SECTION A-A	A-301
SECTION B-B	A-302
WALL DETAILS	A-501
WALL DETAILS	A-502
WALL DETAILS	A-503
WALL DETAILS	A-504
VERANDA DETAILS	A-505
ROOFING DETAILS	A-506
BRACING CALCULATIONS GROUND FLOOR	A-601
LINTEL FIXING SCHEDULE	A-602
WINDOW SCHEDULE	A-603
DOOR SCHEDULE	A-604

GENERAL NOTES

- All dimensions to be checked on site prior to commencement of work.
- Work only to figured dimensions, in the event of a discrepancy contact the Project Manager/ Designer
- Do not change any details without prior consent from the Project Manager
- Building Contractor to check all levels, dimensions, connections & Manufacturer's Specifications before beginning or manufacturing any work to ensure that all materials & labour necessary to complete the project has been allowed for, whether inferred, drawn on plans or not
- Liability will not be accepted by Designer for any materials or labour not shown on drawings or required by the council



DATE PRINTED (19-10-17)

REVISIONS

Scale: 1 : 200

Sheet No.

Drawn By: Designer

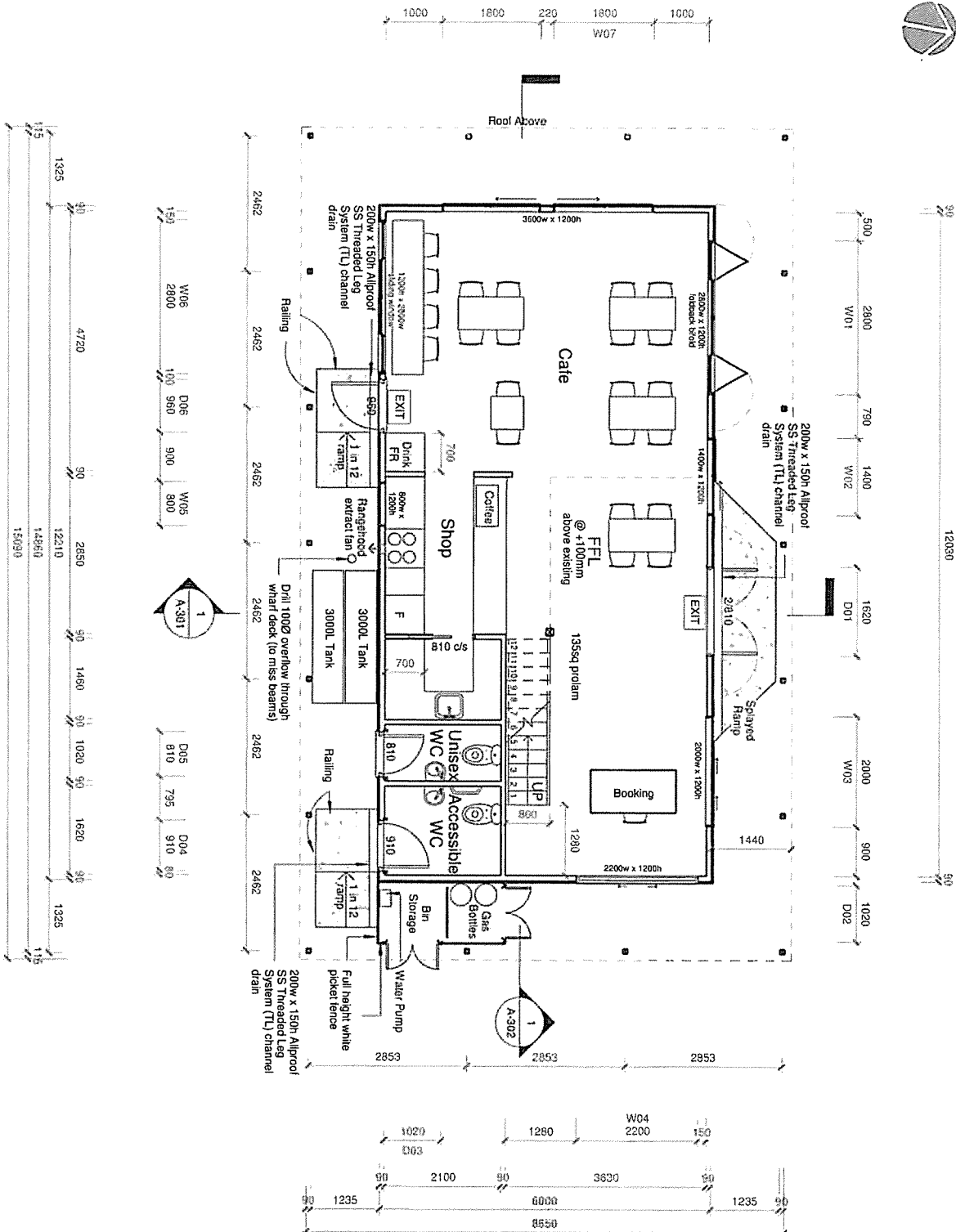
A-100

RUSSELL WHARF / KIOSK
BAY OF ISLANDS, FAR NORTH

SITE PLAN



49 Matthews Ave 0410 Kaitiaki
T: (09) 408 2233 F: (09) 408 2358
E: www.arcLine.co.nz



FLOOR PLAN NOTES:

General

All primary sizes are to finish sizes add 7.5mm each side for box (mm) size
 Confirm kitchen layout with owner & kitchen manufacturer before commencing pipework
 All dimensions to timber framing not finished room sizes
 All framing & bottom plates to be H1.2 treated unless specified otherwise
 R3.2 insulation to ceilings

Smoke alarms to be installed to AS1670 & requirements. Equipment to comply with AS3786
 Joints between fixtures & wall linings: where basins, tubs or sinks abut impervious linings the joint between fixture & lining shall be sealed to prevent water penetration to concealed spaces or behind linings
 All ceilings to be lined with 13mm Gfb standard except wet area ceilings are to be lined with 13mm Gfb aqualine
 All walls to be 10mm standard gfb except bracing panels & wet area walls & showers, wet area walls to be lined with 10mm gfb aqualine and tiled.
 Refer to bracing plan for bracing panel locations
 Tiling to bathrooms, toilets, entry laundry & kitchen floors, 1/2 tile skirting to all WCs
 Showers to be tiled with recessed rewhite pro finish tray, sloping floor to central waste (level entry)
 Showers to have 6mm safety glass door unless specified
 All glazing to wet areas to be Grade A Outgreened safety glass
 All access routes, both external and internal, provide anti-slip surfaces complying with NZSBC clause D1/AS1 (2.1 Slip Resistance)
 Windows W01-03 & W08-10 are located above eave plane and are located on North & South Elevations & Window Schedule of these plans

Area
73.2mss

LEGEND

Raking Ceiling Area
 Smoke alarms to be installed to AS1670 & requirements. Equipment to comply with AS3786

DATE PRINTED (19-10-17)

REVISIONS
 Scale: 1 : 75
 Sheet No.

Drawn By: Designer

A-101



49 Matthews Ave 0410 Kaikara
 T: 09 408 2233 F: (09) 408 2398
 E: www.arcline.co.nz

FLOOR PLAN

RUSSELL WHARF / KIOSK
 BAY OF ISLANDS, FAR NORTH

Erica Cooney

From:
Sent: Monday, 13 May 2019 4:02 p.m.
To:
Subject: FW: Russell Wharf letter to Andy Finch



Assets Manager - 3 Waters

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

ddi + | rr |
Website | Facebook | LinkedIn | Careers

From:
Sent: Monday, February 5, 2018 8:31 AM
To:
Cc:
Subject: RE: Russell Wharf letter

There are two issues;

- Rating
- The other as responsibilities as a water supplier.

With regards to rating, structures over the water are outside the FNDC rating area. With many of these marine facilities they don't pay rates and in the case of Whangaroa contribute a high loading to the networks, but don't pay anything towards it. Any approval should be linked to a special agreement that they pay for the services they receive.

With regards to the Russell water supply. It is an odd ball.

There are no Russell ratepayers paying for it. It is 100% district funded.

It was installed and run for firefighting purposes only,

But around 5 years ago a line was extended to the public toilets for the non-potable use in the public toilets.

It is not treated and while bacterial tests showed low bugs, this does not make it safe of suitable potable use.

NRC have significant concerns over the life left in the Russell aquifer, which if correct will draw Council into a wider water supply issue for Russell. Also the other supply from the Motor Camp has good water quality, but as a privately run community supply, there is no defined governance or clarity around operation or ownership. Not shown in the tests were chloride levels (salt water intrusion) this is what is worrying NRC.

There is a real risk to Council that with increased usage of the Firefighting supply, it would be deemed a water supply requiring Council to treat the water to drinking water standards.

There is also a risk that increase usage will result in exceeding the permitted volume from the resource consent to extract water.

[Jaye can check how current demands match the amount permitted via the consent.]

If approval is given it should be on the strict conditions that where it is used, signs be erected that it is non-potable, used for toilet flushing and hand washing only with signs over the hand basins saying non-potable not used in the Café, or on treated for Café use. And to avoid the risk of people accidentally taking the water for other uses, no outside taps.

I would conclude, that while probably OK, it does expose Council to a increased risk, and if that risk isn't appropriately managed it could result in a significant financial risk. If approval is given, it should be strongly conditioned to prevent any risk of potable use or being on treated..

Regards



Assets Manager - 3 Waters

Infrastructure & Asset Management, Far North District Council | **24-hour Contact Centre** 0800 920 029

[Website](#) | [Facebook](#) | [LinkedIn](#) | [Careers](#)

From:

Sent: Sunday, 4 February 2018 15:28

To:

Subject: FW: Russell wharf letter

Hi - thoughts please – I assume this is dependent upon the LTP proposal to pass the wharf to FNHL?

Thanks



General Manager- Infrastructure & Asset Management

Infrastructure & Asset Management, Far North District Council | **24-hour Contact Centre** 0800 920 029

[Website](#) | [Facebook](#) | [LinkedIn](#) | [Careers](#)

From:

Sent: Thursday, 1 February 2018 4:57 PM

To:

Cc: Ask Us Team

Subject: Russell wharf letter

Hello

Please find attached a letter regarding the proposed Russell Wharf Public Toilets.

Any questions, please let me know

Thanks for your time,

Trainee Project Manager/ Project Engineer
Far North Holdings Limited



Far North District Council
Private Bag 752
Kaikohe 0440
Attn:

1 February 2018

Re Russell Public Toilets Proposal

Dear

This letter is to inform you of and seek your support for, construction of two new public toilets on the Russell Wharf.

You may be aware that Far North Holdings Ltd (FNHL) are planning to demolish the existing Information Centre on the wharf, and replace this with a new, slightly larger building that will house the new Information Centre, as well as a small café. Included in these plans are construction of two new unisex toilet facilities, one standard and the other with disabled access, which would be accessed from the exterior of the building, as per the attached drawings.

The intent is to provide toilets that may be used by all members of the public, catering particularly for the ferry passengers. The nearest FNDC public toilets are located some 250 metres away from the wharf on York Street.

Providing public toilets on the wharf will allow easier access to toilet facilities for ferry passengers and tourists and relieve the load on the existing York Street toilets. We propose to pay for the entirety of the construction cost of these toilets, as well as all cleaning, repairs, and maintenance fees associated with the new wharf toilets. There will be no cost to council for providing these facilities. Mike Colebrook and Liz Davidson in the District Facilities team have been consulted on this proposal, and they have indicated their support.

To make this public toilet proposal viable, we require a reliable water supply to the wharf. Russell has two main bores that supply water. Bore A is located at the Top 10 Holiday Park and provides a private reticulated supply to several businesses around the town, including the wharf. Supply from Bore A has become intermittent in recent years, with Top 10 having the ability to discontinue supply at any time, as they have done, typically during the summer months of peak use.

Council operates a second bore, Bore B, which supplies water to the fire hydrants around town, and to the York Street public toilets.

We seek your approval to connect the *public toilet portion only* of the new wharf building to this water supply, by connecting to the existing line from York Street. The Café sink

would be supplied by rainwater tanks on the wharf, which could double as a back-up water supply for the entire building.

Broadspectrum recently tested the water quality from Bore B as per the attached report. The report came back clear, showing only an elevated level of iron, which can be easily addressed by means of a filtration system on the wharf.

A water line is already in place along Cass Street. We propose to cap off this line from the community reticulation and link this existing line to the nearby fire hydrant line on York Street. To our knowledge, there are no other properties drawing off the abovementioned section of water line on Cass St.

An application to connect to the Council sewerage system has been lodged with council and is currently being priced by Broadspectrum. It is proposed to undertake the water line and sewer connections concurrently, to minimise disturbance to traffic and pedestrians. Approval from Heritage NZ is currently being sought.

We have determined that the new wharf toilets will not create any extra demand for water, as they will be used by people instead of the York Street toilets, creating zero net increase in water use. Further to that, we will install water conserving plumbing fittings in the wharf toilets to minimise waste.

Modern toilet facilities near the passenger ferry terminal provides a real opportunity to add value to the Russell visitor experience. Facilities would be provided to the public free of charge, and at no cost to Council. This would also extend the asset life of the ageing York Street public toilets which Council maintains.

Provided we can gain Council approval for connection to a reliable water supply (Bore B), the new toilets could be opened as soon as October 2018.

I look forward to your reply

Yours sincerely

Trainee Project Manager/ Project Engineer



Chris Galbraith
General Manager

Attached:
Arcline drawings
Water testing result

Erica Cooney

From:
Sent: Monday, 13 May 2019 4:03 p.m.
To:
Subject: FW: FNDL - Russell Public Toilets Proposal Letter
Attachments: Far North Holdings Ltd_Russell Public Toilets Proposal_14 February 2018.doc



Assets Manager - 3 Waters

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

[Website](#) | [Facebook](#) | [LinkedIn](#) | [Careers](#)

From:
Sent: Tuesday, February 20, 2018 4:29 PM
To:
Subject: RE: FNDL - Russell Public Toilets Proposal Letter

Hi

It has not been saved in Objective.....

This letter has been sent now though. Final one attached....

Ta



Executive Assistant to General Manager

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

[Website](#) | [Facebook](#) | [LinkedIn](#) | [Careers](#)

From:
Sent: Tuesday, 20 February 2018 12:29 p.m.
To:
Subject: FW: FNDL - Russell Public Toilets Proposal Letter

Can you send me the objective link to the final letter?

Thanks



Barry Somers

Assets Manager - 3 Waters

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

[Website](#) | [Facebook](#) | [LinkedIn](#) | [Careers](#)

From:
Sent: Wednesday, 14 February 2018 15:39
To:
Subject: FW: FNDL - Russell Public Toilets Proposal Letter

Hi - chance for a final review before I tidy up and send.

Thanks



General Manager- Infrastructure & Asset Management
Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

[Website](#) | [Facebook](#) | [LinkedIn](#) | [Careers](#)

From:
Sent: Wednesday, 14 February 2018 12:18 PM
To:
Subject: FNDL - Russell Public Toilets Proposal Letter

Hi

Please see attached.

Ta



Executive Assistant to General Manager
Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

[website](#) | [Facebook](#) | [LinkedIn](#) | [Careers](#)



16th February 2018

Te Kaunihera o Tai Tokerau Ki Te Raki

*the top place where talent
wants to live, work and invest*

Far North Holdings Ltd
Opua Marine Park
PO Box 7
Opua
0241

Dear

RE: Russell Public Toilets Proposal

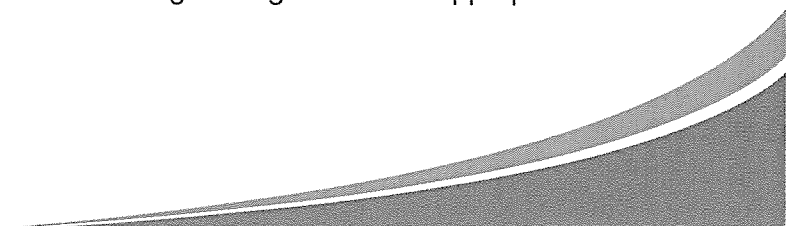
Thank you for your letter dated 1 February 2018 outlining your proposal for the construction of two new public toilets on the Russell Wharf.

I am aware that the Russell community strategy supports the potential for strategic development of the wharf and surrounds. Accordingly, this proposal is something I would wish to support.

The Council is consulting on the transfer of the wharf to FNHL as part of the Long term Plan consultation process and without wishing to pre-judge the outcome of that process or of proposals to leverage Crown funding, I assume that the development of the wharf as proposed is predicated on FNHL ownership of the wharf.

In principle, Council has no objection to FNHL using the bore which currently supplies water for fire-fighting purposes to supply the new toilets only. However, you should note the following points:

1. The supply is not treated and accordingly should not be considered safe as a potable water source. Accordingly, I would strongly recommend the provision of appropriate signage in the proposed toilets.
2. The Havelock North Drinking Water inquiry is likely to make significant changes to how water supplies, particularly from bores, are managed in the future. There is a risk to Council that treatment of the supply may be required if it is used for anything more than fire-fighting. Council would wish to mitigate this risk through an appropriate agreement that would pass the risk of the possible future cost of water treatment to FNHL.
3. The existing fire-fighting supply is District wide funded. We need to consider whether this proposal is equitable and whether a usage charge would be appropriate.



I am happy to have a conversation on this to help progress this project.

Yours sincerely

General Manager Infrastructure and Asset Management

Letters: No consultation on Russell wharf angers locals

10 May, 2018 12:30pm
5 minutes to read



The lack of transparency around the Russell wharf deal has angered local residents.

Northland Age

The intent of the Far North District Council to transfer the Russell wharf asset to their wholly-owned commercial arm Far North Holdings Ltd is a reasonable move. What is not, is how this has all come about.

We are aware that the FNDC, FNHL and the RWWT (the collective partners) have been in discussions for many months, and have actively planned and set up a scheme that we in the Russell community, at the 11th hour, are now attempting to unravel and understand, as the horse is trying to bolt.

The lack of transparency resulting from non-notification of the Russell wharf resource consent and the added confusion of the LTP process has prompted a heated debate. Now there is a growing awareness of what is going on here.

Read more: [Move to scuttle Russell Wharf plan includes threat of legal review](#)

[Mixed reaction to council's plan to sell Russell Wharf for \\$1](#)

A developing view is that the Russell Wharf Waterfront Trust (RWWT) is not impartial, and is a vehicle to support at least one of the investors in the Duke of Marlborough Hotel to provide capital for the proposed new building on the wharf.

The irony is that if these participants had been upfront with the community from the beginning then the real Russell community (not the tick the box district majority) may support a joint venture of some kind, provided the structure and the content of the joint venture was right.

However, under current circumstances, pushing the asset transfer through now can only bolster the likelihood of a judicial review of the whole matter.

The lack of proper and timely consultation with affected parties, including the people of Russell, the exclusive occupancy provision and the provision of only one public berth, as contained in the amended consent, and the excessive unwanted new building designed by its investors is a game-breaker for many of us.

On September 13, 2017, Northland Regional Council granted consent to the FNDC, which contained a redevelopment Option A and B. Option A expands the wharf considerably with new berths and a new Terminal 5. Option B effectively retains the existing wharf and adds floating pontoons as an upgrade.

Both options allowed for exclusive commercial use on the northern side of the complex only, and an expanded wharf building for a café, and this information formed the basis for public submissions. However, on April 16, 2018, an amended consent was subsequently granted by the NRC to the FNDC, just as the LTP hearings commenced.

This final consent has adopted Option B, and has secured exclusive commercial occupancy over an area clearly designed to accommodate Option A later.

The consent issued on April 16 gives exclusive occupancy rights to FNHL, "at the exclusion of others", and the previous version of the consent did not, as there was a clearly defined commercial area, and presumably a public area, which was pretty much as it has been for decades — 50/50.

This change was also non-notified, and makes a mockery of concerned ratepayers, who in the end were making submissions based on a consent application that was amended during the LTP process.

The consent also ignores any affected parties, the heritage values of the wharf, and the conditions of a previous consent dated June 29, 2016, which contained a recommendation that the wharf should not be expanded in area or mass or be converted into a hybrid marina, which the current plans clearly now show.

The limited information that the Russell community were given at the 11th hour public meetings in Russell gave no indication of the consent changes coming, and in fact FNHL staff said publicly that details, such as occupancy, were negotiable.

However, the approved consent evidences otherwise, and it is a done deal.

The Russell wharf is being taken from the Russell community and others without proper and timely public consultation as affected parties.

As a commercial operator FNHL can refuse to provide commercially-sensitive information, but now is the time to understand the expected operating expenditure and profit generated from any plan that the board of Far North Holdings has agreed to and is accountable for, to ensure the proposal is viable.

If ownership of the wharf is transferred to FNHL then the statutory obligation to maintain it must also be transferred.

To enlist a charitable trust to undertake a maintenance role is unworkable, cannot be relied upon, and I am certain the NRC, as inspectors of environmental structures, would have to agree.

The mishandling of this project by the collective partners has compromised and alienated Russell people, the result being that legal action is being prepared to review the process and inevitably find out what has been going on here, who is involved, what is the real objective and who is paying for it?

We say: Stay the resource consent, put the ownership/asset transfer on hold, provide for full and proper consultation with the Russell community that is publicly notified, rather than the orchestrated tick box process as part of the LTP, review the building consent.

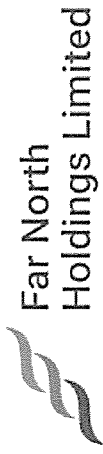
Which we understand is non-compliant in many respects, review the sewerage pump-out plan.

Which is non-compliant, being waste not generated in the area of interest, review no provision for all-weather public seating, review water supply to café.

Which is non-complying and inadequate — where is the water sourced from?

DOUG OWENS

Russell



Far North
Holdings Limited

- Home
- About
- Assets
- Projects
- Cruise Ships
- Media
- Contact
- Q

Ngawha Innovation and Enterprise Park

Bay of Islands Airport terminal expansion

Paihia Wharf development

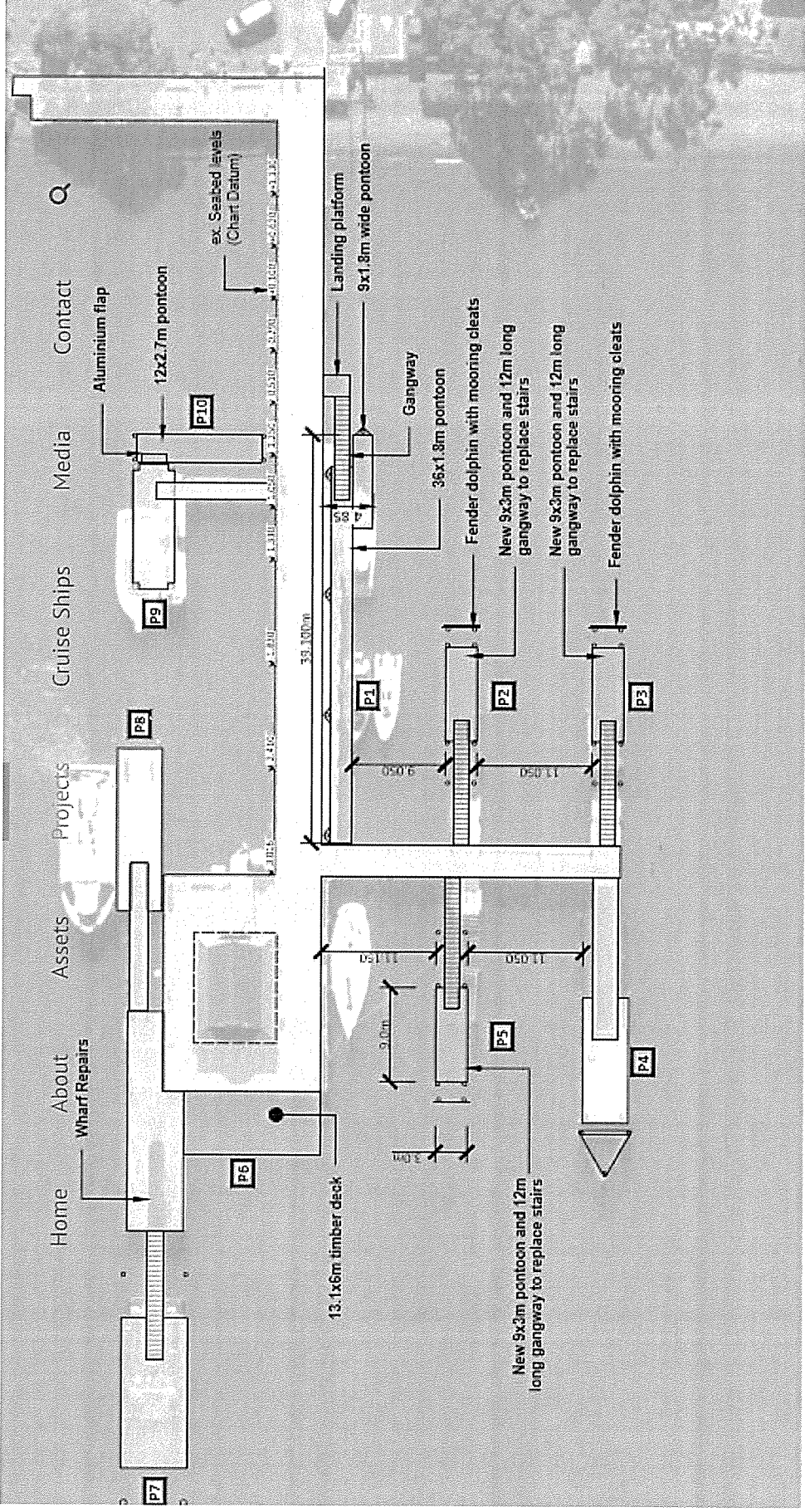
Russell Wharf development

Work on the \$1.281m Russell Wharf upgrade project, contracted to Bellingham Marine, will start on Friday 26 April 2019 and is expected to last until the end of August. The Provincial Growth Fund has contributed \$1.114m to this project.

Work will start after Easter and avoids interfering with the operation of the wharf during the peak tourism season. Far North Holdings has consulted with regular commercial users of the wharf and has agreed a schedule of works to ensure that the wharf remains operational during this period.

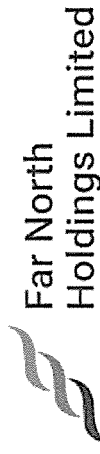
All elements of the wharf upgrade have been subject to extensive community consultation and Far North Holdings has incorporated changes that include some the feedback received.

The company has agreed to a request from Kororareka Marae to delay the construction of the proposed new wharf building until such time as the new entity that will represent the community in the joint management of the wharf has been established.



Opua pontoon

Kawakawa urban regeneration project



A 'hold' on work relating to these facilities ~~is~~ ~~discuss~~ ~~ion~~ ~~of~~ ~~these~~ ~~facilities~~ ~~with~~ ~~the~~ ~~new~~ ~~entity~~ ~~that~~ ~~will~~ ~~represent~~ ~~the~~ ~~Russell~~ ~~community~~.

Other consented work programmed for the wharf, funded through the PGF (see image below), will start as planned on 26 April 2019 with the agreement of the community and the marae.

[Download original attachment
\(PDF file\)](#)

This is an HTML version of an attachment to the Official Information request 'Far North Holdings Limited and Russell Wharf and Waterfront Trust'.



**FILE: 5667
New (11)
Resource Consent
and
Replacement (01, 06, 09, 10)**

Document Date: 16.04.2018

*Pursuant to the Resource Management Act 1991, the Northland Regional Council
(hereinafter called "the council") does hereby grant a Resource Consent to:*

**FAR NORTH DISTRICT COUNCIL, C/- FAR NORTH HOLDINGS LIMITED, PO BOX 7,
OPUA 0241**

To undertake the following activities associated with the Russell Wharf at Kororareka Bay, Bay of Islands, at or about location co-ordinates 1701930E 6097326N:

Note: All location co-ordinates in this document refer to Geodetic Datum 2000, New Zealand Transverse Mercator Projection.

AUT.005667.01.03

Use and occupy space in the coastal marine area with wharf structures including:

- Wharf platforms, piers, fixed jetties, stairs, various gangways pontoons and associated piles and fender and dolphin piles;
- A sewage pump out and water services facility and fuel berth;
- A weigh station;
- Utility services including electricity and water on the wharf structures.

AUT.005667.06.03

Occupy part of the coastal marine area to the exclusion of others.

AUT.005667.09.02

Place, use and occupy space in the coastal marine area with signage not relating directly to goods or services sold or facilities operated at or on the wharf.

AUT.005667.10.02

Place, use and occupy space in the coastal marine area with a building on the wharf.

AUT.005667.11.01

Extend and alter wharf structures.

Subject to the following conditions:

General Conditions:

1 These consents apply to the wharf structures, occupation area, signage and building identified within the areas identified on **attached** drawings referenced as Northland Regional Council Plan Numbers **4802, 4687/1, 3931A and 4761/1A.**

2 The Consent Holder shall keep the coastal marine area free of debris resulting from the Consent Holder's activities.

ELEC RC APRIL 2018 (REVISION 6)
A1054904

3 No oil, liquid wastes, debris or rubbish shall enter coastal waters from any person, vessel, structure or activity associated with the demolition, construction, maintenance, use or operation of the wharf.

4 All vehicles or equipment entering the coastal marine area associated with the exercise of these consents shall be in good state of repair and free of any leaks e.g. oil, diesel etc.

5

An oil spill kit, appropriate to the plant and equipment being used, shall be provided and maintained on site during the exercise of these consents.

6

The Consent Holder shall maintain the structures, signage and building covered by these consents in good order and repair.

7

The Consent Holder shall, for the purposes of adequately monitoring these consents as required under Section 35 of the Act, on becoming aware of any contaminant associated with the Consent Holder's operations escaping otherwise than in conformity with these consents:

(a)

Immediately take such action, or execute such work as may be necessary, to stop and/or contain such escape; and

(b)

Immediately notify the council by telephone of an escape of contaminant; and

(c)

Take all reasonable steps to remedy or mitigate any adverse effects on the environment resulting from the escape; and

(d)

Report to the council's Compliance Manager in writing within one week on the cause of the escape of the contaminant and the steps taken or being taken to effectively control or prevent such escape.

For telephone notification during the council's opening hours, the council's assigned monitoring officer for these consents shall be contacted. If that person cannot be spoken to directly, or it is outside of the council's opening hours, then the

Environmental Emergency Hotline shall be contacted.

Advice Note: *The Environmental Emergency Hotline is a 24 hour, seven day a week, service that is free to call on 0800 504 639.*

8

The council may, in accordance with Section 128 of the Resource Management Act 1991, serve notice on the Consent Holder of its intention to review the conditions annually during the month of June to deal with any adverse effects on the environment that may arise from the exercise of these consents and which it is appropriate to deal with at a later stage. The Consent Holder shall meet all reasonable costs of any such review.

9

Prior to the expiry or cancellation of these consents the structures and other materials and refuse associated with these consents shall be removed from the consent area and the consent area shall be restored to the satisfaction of the council, unless an application has been properly made to the council for the renewal of these consents or the activity is permitted by a rule in the Regional Plan.

ELEC RC APRIL 2018 (REVISION 6)

A1054904

AUT.0056667.01.03 – Wharf Structures

10

A sign marked with the number **5667** in black lettering on a white background clearly

displayed on the seaward side of the wharf structures in such a manner as to be clearly visible from the sea.

11

The fuel berth/sewage pump out and water services pontoon (fuel berth) shall be available to the public for use at all reasonable times. The use of the fuel berth shall be limited to vessels that are refuelling, taking on water or using sewage pump out facilities. Vessels that are fuelling are to have priority. The loading and unloading of passengers and/or goods may occur at the fuel berth from vessels during their use of fuel/water/sewage pump out services. No dinghies shall be secured to, or stored on the fuel berth, nor shall commercial trading occur from the fuel berth.

12

This consent shall be exercised in a manner which ensures that the quality of the receiving waters, at any point up to 10 metres from wharf structures meets the following standard:

Standard

Natural visual clarity

Not reduced more than 20%.

Oil/grease film, scum, foam, No conspicuous oil or grease film, scums or foams, odour

floatable or suspended materials, or emissions of objectionable odour.

Faecal Coliforms

Based on not fewer than 5 samples within any 30 day

period: Median <150/100ml.

80%ile < 600/100ml.

13

Lighting, other than navigational lighting required by the Director of Maritime Safety to meet international hydrographic standards for navigational safety purposes, shall:

- (a) Be the minimum required for its purpose – pathway, surface signage illumination;
- (b) Be entirely of fully shielded full cut off fittings to contain all light below the horizontal from fittings or masts no higher than 4 metres; and
- (c) Restrict all spillage to no more than 20 metres from the boundary of the wharf deck.

14

The Consent Holder shall have the structural integrity of the wharf structures inspected and reported on by a Chartered Professional (Structural) Engineer. The first inspection shall be undertaken prior to March 2028 and the wharf structures (excluding the building) shall be re-inspected at five yearly intervals in the month of March 2033, 2038, 2043 and 2048 with a final inspection undertaken prior to the 31 October 2052, being six months before the expiry date of this consent. An inspection report from the Chartered Professional Engineer shall be provided to the council's assigned monitoring officer within two weeks of completion of the inspection. The inspection report shall identify any maintenance that is required, the timeframe within which this maintenance is required to be carried out and shall confirm, or otherwise, the ongoing structural integrity and security of the structures.

15

The Consent Holder shall carry out all the maintenance required as a result of the

inspections undertaken in accordance with Condition 14 within the timeframe(s) prescribed in the inspections report. The Consent Holder shall notify the council's assigned monitoring officer as soon as the maintenance works have been completed on each occasion.

ELEC RC APRIL 2018 (REVISION 6)

A1054904

16

In the event of failure or loss of structural integrity of any part of the structures covered by these consents, the Consent Holder shall immediately:

(a)

Retrieve all affected structure elements and associated debris that might escape from the facility and dispose of these on land where they cannot escape to the coastal marine area; and

(b)

Advise the Regional Harbourmaster for Northland and the council's Compliance Manager of the event and the steps being taken to retrieve and dispose of the affected structure facility elements and debris.

Advice Note: *The purpose of this condition is to avoid navigation safety being compromised by floating debris and avoid contamination of the coastal marine area.*

AUT.0056667.06.03 - Exclusive Occupation

17

The areas of exclusive occupation, over which the Consent Holder may exercise control

of access and use, are limited to the Occupation Area shown on Northland Regional Council Plan Number **3931A**.

18

The Consent Holder shall not undertake its activities in such a way that would unreasonably exclude the public from the Occupation Area for the purpose of public access to and along the coastal marine area. The wharf shall be available for public pedestrian access free of charge at all times, other than times when it is necessary to limit public pedestrian access for reasons of safety, security or where facility or vessel operations area such that it is necessary to limit public pedestrian access and use. At a minimum one public berth (excluding the fuel berth and dinghy dock) shall be identified and be available at all times for use by the public. The public berth shall be subject to the Far North District Council Maritime Facilities Bylaw.

AUT.005667.09.02 - Signage

19

The Consent Holder shall ensure that Russell Wharf signage complies with the following location and dimensional requirements:

(a)

Sign placement shall be restricted to signage on 12 metre sections of balustrade located on each side of the main pier (total length approximately 24 metres), with each section extending immediately seaward of the access to the fuel, sewage pump out and water services pontoon;

(b)

The total number of signs (subject to this consent) shall not exceed 30 in total, or 15 on each side of the Russell Wharf main pier;

(c)

Signs shall not extend above the level of the existing balustrade;

(d)

Signs shall be a uniform 800 millimetres by 600 millimetres in area;

(e)

Gaps between signs shall be approximately 200 millimetres;

(f)

Advertising shall be all inward facing;

(g)

The external/seaward face of the signs shall be coloured white of the same shade as the existing wharf balustrade;

(h)

The advertising on each sign shall relate either to goods, services or facilities operated from Russell Wharf or within the Russell community;

ELEC RC APRIL 2018 (REVISION 6)

A1054904

(i)

No signs shall be internally or externally illuminated by intermittent or flashing light sources;

(i)

No sign shall involve movement or apparent movement of any of its parts or messages.

AUT.0056667.10.02 Building

20

The building shall be constructed and maintained in general accordance with the attached Arcline Architecture drawings referenced as Northland Regional Council Plan Numbers: **4761/1A, 4761/2A, 4761/3A, 4761/4A, 4761/5A and 4761/6.**

21

The Consent Holder shall surrender resource consent AUT.006300.01.03 (Ticket Kiosk) in writing to the council as soon as the new building has been erected.

AUT.005667.11.01 – Extension and alteration of wharf structures

22

The extension and alteration of wharf structures authorised by this consent shall be undertaken in general accordance with the **attached** RS Eng Limited drawings referenced as Northland Regional Council Plan Numbers **4791/1, 4791/2 and 4791/3**.

23

The Consent Holder shall notify the council's assigned monitoring officer in writing of the date that extension and alteration construction works are intended to commence, at least two weeks beforehand on each occasion. The Consent Holder shall arrange for a site meeting between the Consent Holder's contractor and the council's assigned monitoring officer, which shall be held on site prior to any works commencing. No works shall commence until the council's assigned monitoring officer has completed the site meeting.

Advice Note: *Notification of the commencement of works may be made by email to [email address].*

24

As part of the written notification required by Condition 23, the Consent Holder shall also provide to the council's assigned monitoring officer written certification from a suitably qualified and experienced person that all plant and equipment entering the coastal marine area associated with the exercise of this consent are free from

unwanted or risk marine species.

25

Prior to commencing construction of the wharf extension and alteration the Consent Holder shall provide the council's assigned monitoring officer with a statement, which may be part of a producer statement under the Building Act 2004, signed by the Chartered Professional Engineer who supervised the development of the detailed design, describing the works to be constructed and stating that the particular works have been suitably investigated and properly designed in accordance with good engineering practice.

26

A copy of any building consent (including approved plans) issued by the Far North District Council in respect of the altered or extended wharf structures facilities shall be provided to the council's assigned monitoring officer at least two weeks prior to the commencement of construction of the wharf alterations or extensions.

27

The Consent Holder shall ensure that a copy of this consent is provided to the person who is to carry out the demolition and/or construction work. A copy of this consent shall be held on site, and available for inspection by the public, during the works.

ELEC RC APRIL 2018 (REVISION 6)

A1054904

28

All demolition material shall be collected and disposed of on land to a facility authorised to receive such material, unless it is reused.

29

This consent shall be exercised in a manner which ensures that the quality of the receiving waters, at any point 10 metres from wharf structures meets the following standards:

Standard

Natural visual clarity

Not reduced more than 20%.

Oil/grease film, scum, foam, No conspicuous oil or grease film, scums or foams, odour.

floatable or suspended materials, or emissions of objectionable odour.

30

Noise levels associated with the exercise of this consent shall not exceed those set out in **attached** Schedule 1.

31

Work associated with the extension or alteration construction shall only be carried out during the hours between 7.00 a.m. and sunset or 6.00 p.m, whichever occurs earlier, and only on days other than Sundays and public holidays.

32

The Consent Holder shall notify the council's assigned monitoring officer in writing as soon as the demolition and or construction work has been completed on each occasion.

33

Immediately upon completion of extensions and alterations to the wharf, the Consent Holder shall notify the following organisations in writing of the installation of the facilities. Evidence of this notification shall be provided to the council's assigned monitoring officer.

Hydrographic Surveyor
The Maritime Safety Inspector
Land Information New Zealand
Maritime New Zealand
PO Box 5501
PO Box 195
Wellington 6145
Ruakaka 0151

Far North District Council

Private Bag 752
Kaikohe 0440

The Consent Holder shall include a scale plan of the completed works with the notification.

34

Within three months of completion of the wharf extensions or alterations, the Consent Holder shall provide the council with a statement, which may be part of a producer statement under the Building Act 2004, from the same Chartered Professional Engineer who designed and supervised this part of the works stating that the works have been constructed in accordance with his/her design and in accordance with good

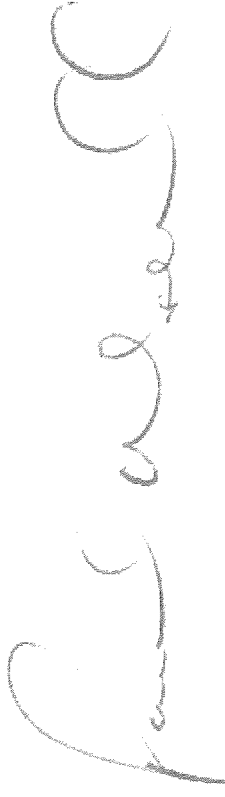
engineering practice.

35

In the event of archaeological sites or kōiwi being uncovered during extension and alteration construction work, activities in the vicinity of the discovery shall cease and the Consent Holder shall contact Heritage New Zealand Pouhere Taonga. Work shall not recommence in the area of the discovery until the relevant Heritage New Zealand Pouhere Taonga approval has been obtained.

ELEC RC APRIL 2018 (REVISION 6)

A1054904

A handwritten signature in black ink, appearing to read 'P. S. ...', is written over the text area.

Advice Note: The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, damage or modify the whole or any part of an archaeological site without the prior authority of Heritage New Zealand Pouhere Taonga.

36

This consent shall not lapse until its expiry.

EXPIRY DATE:

31 MARCH 2053

These consents are granted this Sixteenth day of April 2018 under delegated authority from the council by:

Paul Maxwell

Coastal & Works Consents Manager

Note: The plans attached to this consent are reduced copies and therefore may not be to scale and may be difficult to read. In the event that compliance and/or enforcement action is to be based on compliance with the attached plans, it is important that the original plans, are sighted and used. Originals of the plans referred to are available for viewing at the council's Whāngārei office.

ELEC RC APRIL 2018 (REVISION 6)

A1054904

SCHEDULE 1

ENVIRONMENTAL STANDARDS – NOISE

CONSTRUCTION NOISE

The noise from all construction activities seaward of the line of Mean High Water Springs (MHWS) shall comply with the construction noise limits prescribed in NZS 6803:1999

“Acoustics – Construction Noise

Based on Table 2, NZS 6803: 1999 “Acoustics – Construction Noise”, Standards New Zealand

Typical Duration	
Short-term	
Long-term	
Time of Week	
Typical Duration (dBA)	
Duration	
Duration	
Leg	
Lmax	
Leg	
Lmax	
Leg	
Lmax	
Weekdays	
0630 – 0730	
60	
75	
65	
75	
55	
75	
0730 – 1800	
75	

90
80
95
70
85
1800 – 2000
70
85
75
90
65
80
2000 – 0630
45
75
45
75
45
75
Saturdays
0630 – 0730
45
75
45
75
45
75
0730 – 1800
75

90
80
95
70
85
1800 – 2000
45
75
45
75
45
75
2000 – 0630
45
75
45
75
45
75

Noise measurements shall be measured in accordance with NZS 6801: 2008 “Acoustics – Measurement of environmental sound” and assessed in accordance with NZS 6802: 2008 “Acoustics – Environmental noise”. Measurement shall be at the notional boundary of any dwelling in the Russell Township Zone identified in the Far North District Plan. Construction noise shall comply with, and be measured and assessed in accordance with, the requirements of the Standard.

The notional boundary is defined in NZS 6801:2008 “Acoustics – Measurement of environmental sound” as a line 20 metres from any part of any dwelling, or the legal boundary

where this is closer to the dwelling.

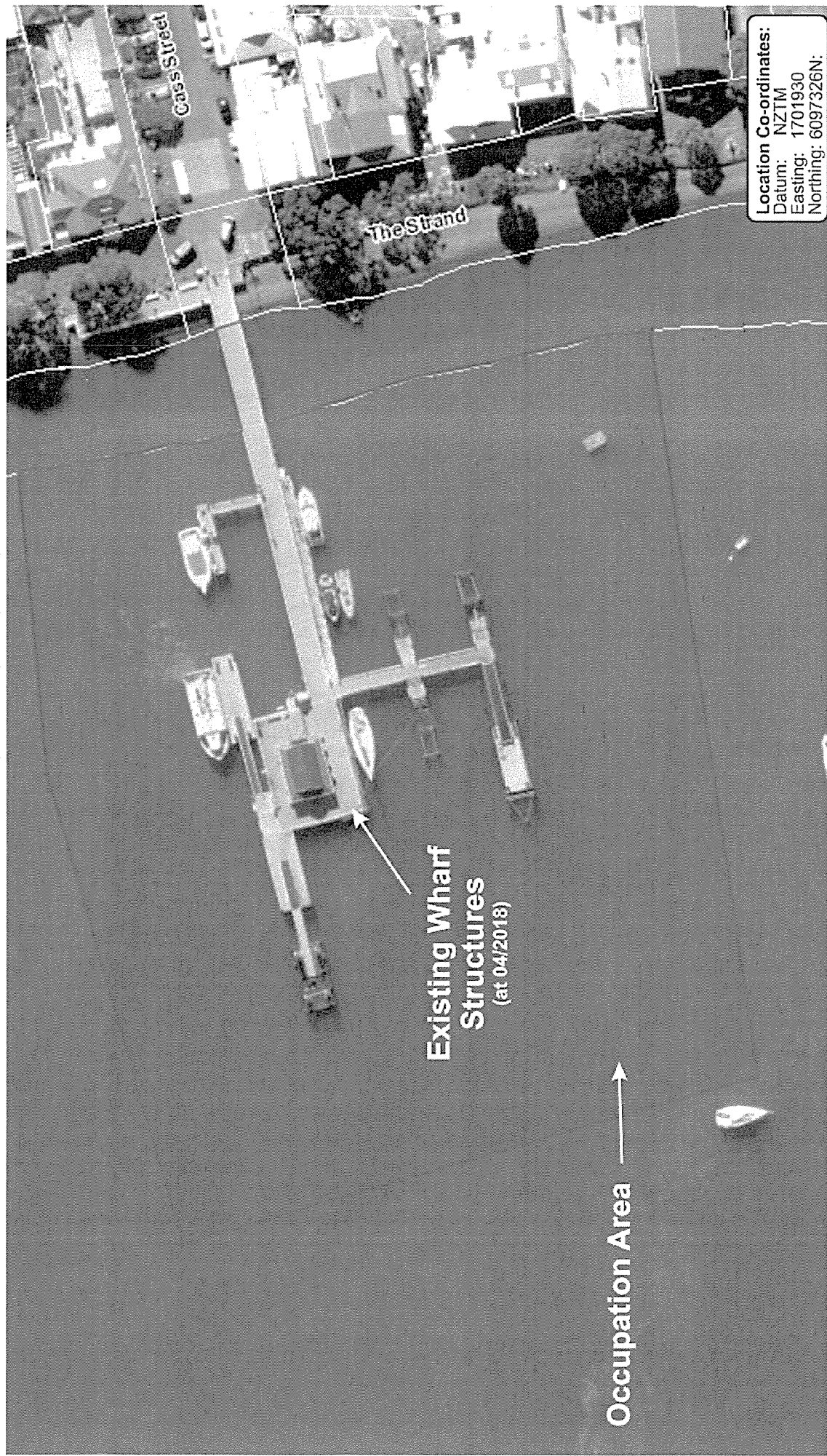
Sound levels shall be measured in accordance with New Zealand Standard NZS 6801:2008

“Acoustics – Measurement of environmental sound”, and assessed in accordance with

NZS 6802:2008 “Acoustics – Environmental noise”.

ELEC RC APRIL 2018 (REVISION 6)

A1054904

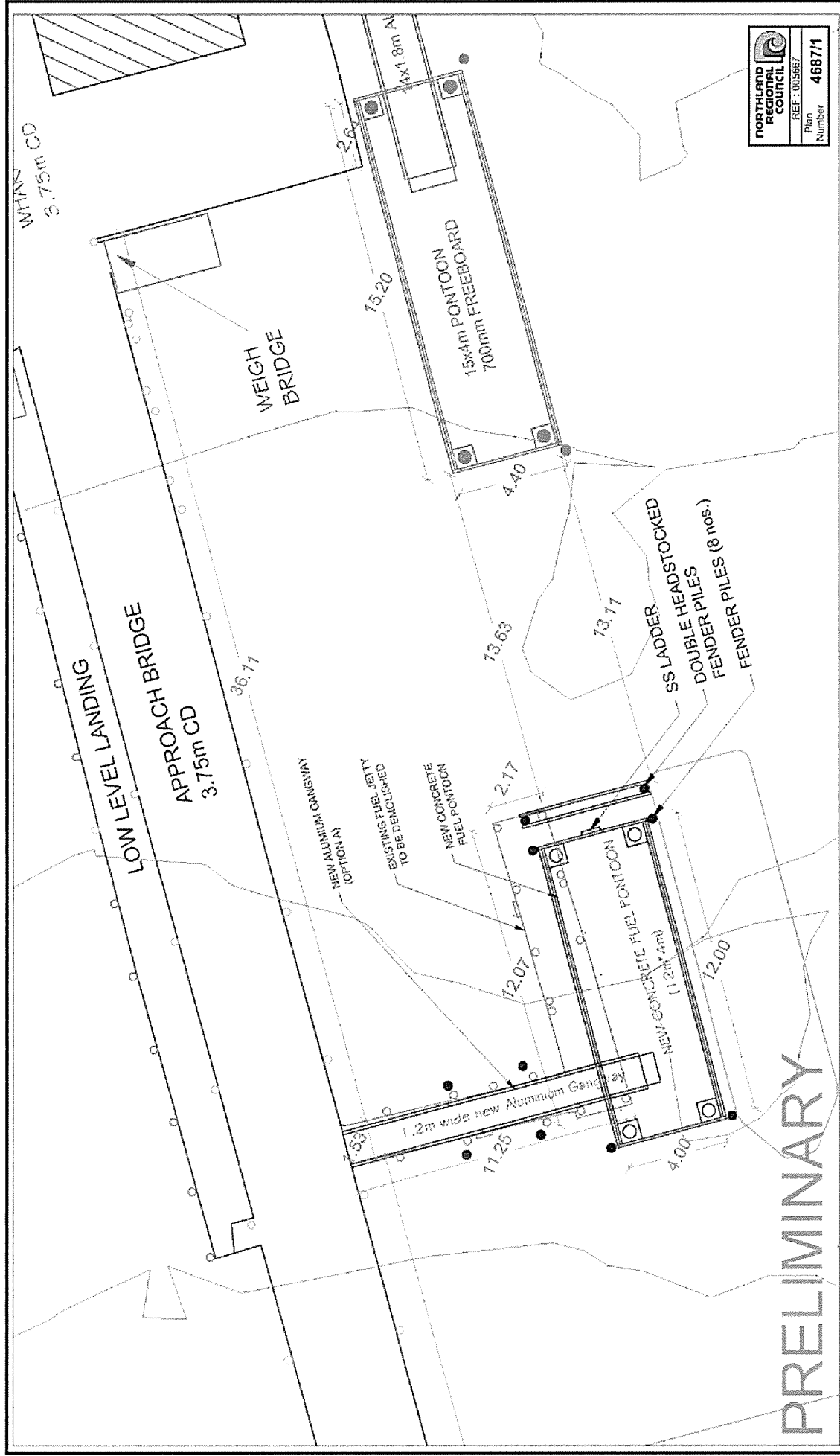


Location Co-ordinates:
 Datum: NZTM
 Easting: 1701930
 Northing: 6097326N:

Scale:	N.T.S.
Drawn:	P/MAX 04/18
REF:	005667
Plan Number	4802

Russell Wharf
Existing Structures and Occupation Area
Kororareka Bay
Russell Bay of Islands





NORTHLAND REGIONAL COUNCIL
 REF: 005667
 Plan Number: 4687/1

Drawing Title:
**PROPOSED FUEL
 PONTOON PLAN**

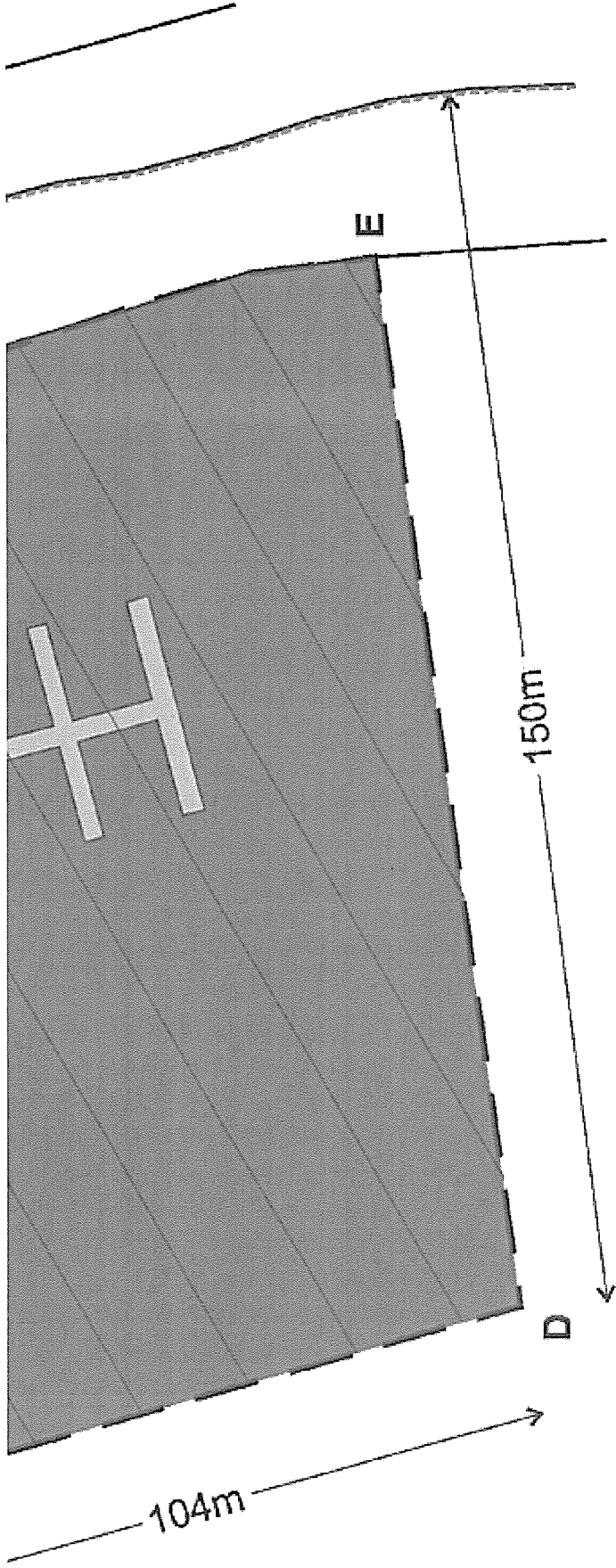
Far North Holdings Limited
Coastal Services Park



Job Title:
RUSSELL WHARF

Survey: 15/02/11
 Design: 16/02/16
 Drawn: W45
 Checked: MC

Drawing Status - As-built plan	15/02/11
Drawing Status - Proposed fuel pontoon plan	16/02/16
Drawing Status - Proposed fuel pontoon plan	25/02/16



Co-ordinates
(NZ Transverse Mercator 2000 Datum)

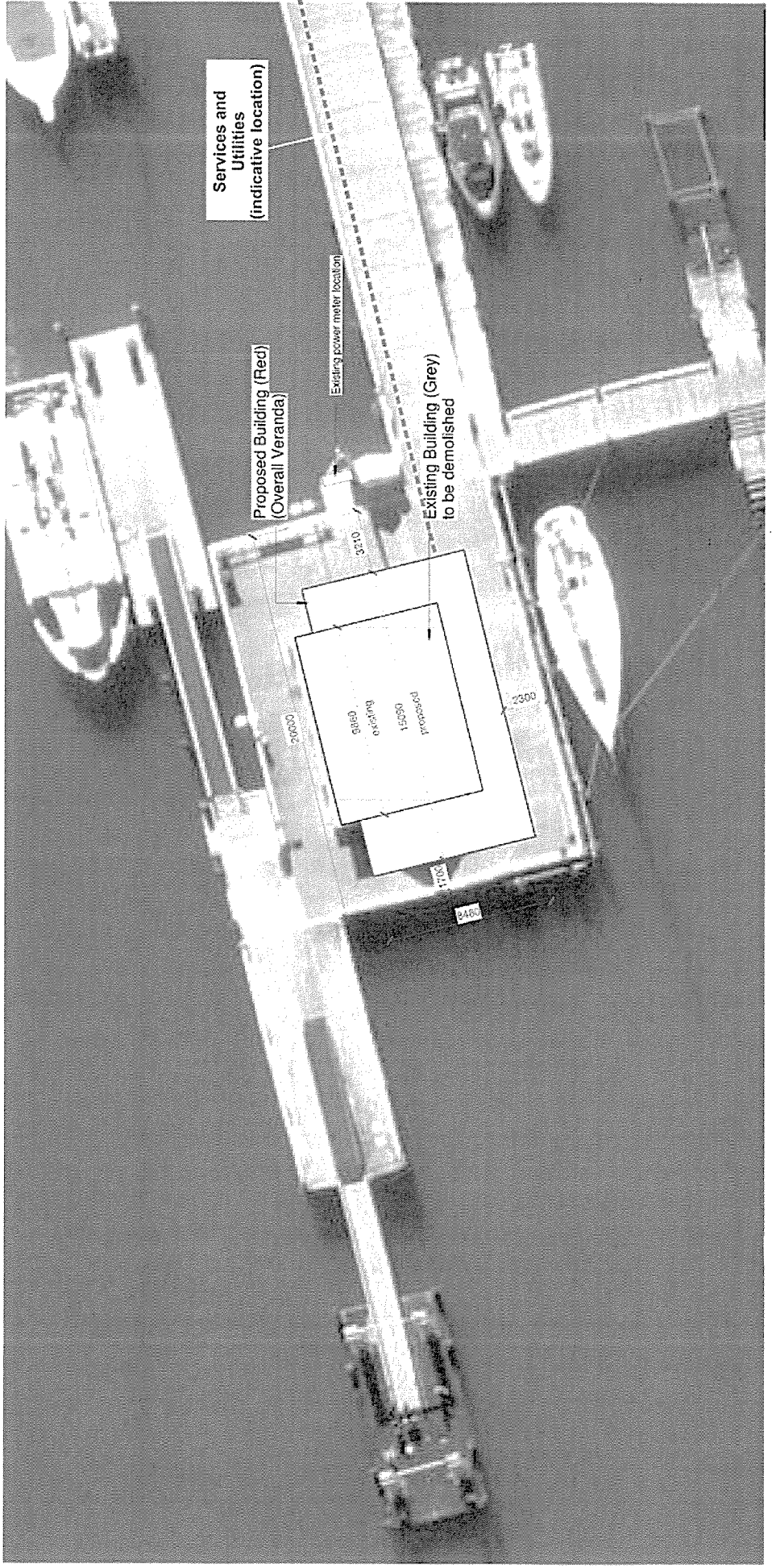
	Northing	Easting
A	6097379	1701972
B	6097374	1701919
C	6097350	1701837
D	6097250	1701866
E	6097268	1701997

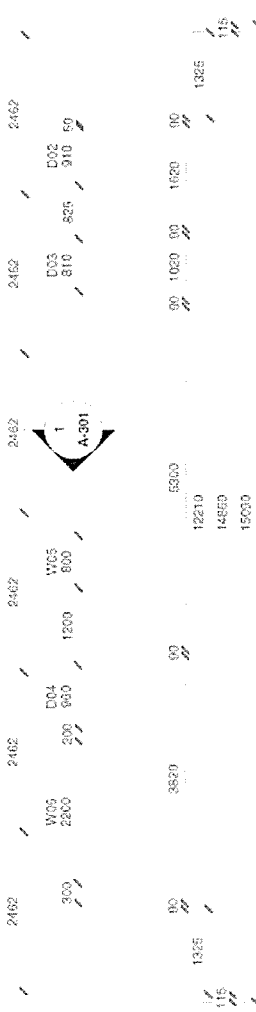
Location Co-ordinates:
Datum: NZTM
Easting: 1701930
Northing: 6097320

Scale:	N.T.S.
Drawn:	PMAX 04/18
REF:	005667

Occupation Area
for
Russell Wharf







49 Maitavue Ave 0410 Kaitiaki
 T: 09-408 2233 F: (09) 408 2359
 E: www.arcline.co.nz

FLOOR PLAN

RUSSELL WHARF / KIOSK
 BAY OF ISLANDS, FAR NORTH

REVISIONS

Scale: 1:75
 Drawn By: Designer

DATE PRINTED (22-03-18)

Sheet No.

A-101

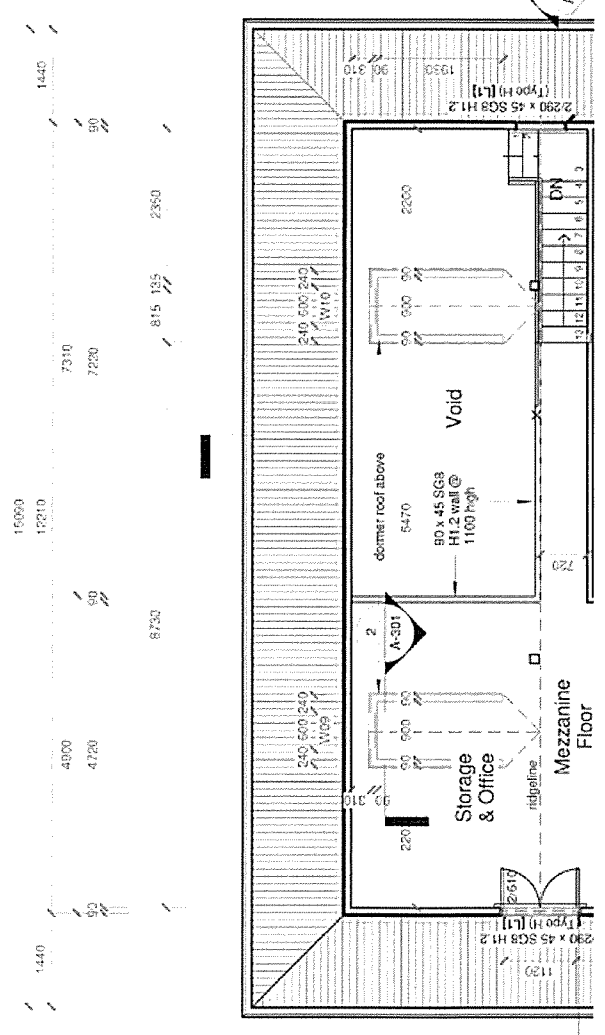
NORTHLAND REGIONAL COUNCIL
 REF: 005667
 Plan Number: 4761/2A



FLOOR PLAN NOTES:

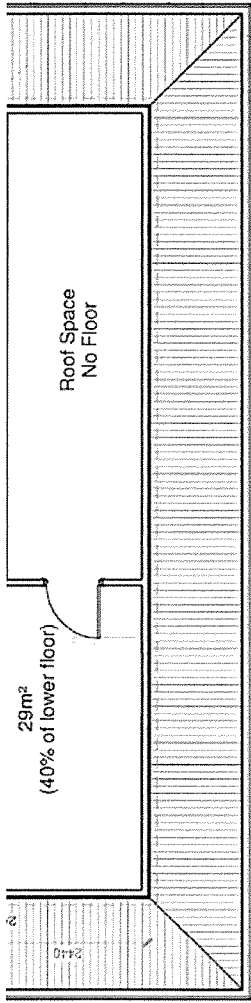
General

- Walls to be prefabricated and shipped onto site premises
- All joinery sizes are to finish sizes add 7.5mm each side for box (unit) size
- Confirm kitchen layout with owner & kitchen manufacturer before commencing pipework
- All dimensions to timber framing not finished room sizes
- All framing & bottom plates to be H1.2 treated unless specified otherwise
- R2.4 polystyrene insulation to walls.
- R3.2 insulation to ceilings
- Joints between fixtures & wall linings: where beams, tubes or sinks abut impervious linings the joint between fixture & lining shall be sealed to prevent water penetration to concealed spaces or behind linings
- Refer to bracing plan for bracing panel locations
- Tiling to toilet floors and walls
- Stainless steel kickplate and exit handle on accessible toilet
- All glazing to wall areas to be Grade A tempered safety glass
- Approved fire alarm system and internal process including surface complying with NZBC clause D1/AS1 (2.1 Sign Resistance)
- Type 4 single zone fire alarm not requiring indication panel



Ridgebeam fixed to 4.30 x 45SG8 H1.2 studs with 2-M16 bolts & 50sq washers 9 mm spacer

Ridgebeam fixed to 4.99 x 455 G3 H12 studs with 2xM16 bolts @ 600mm centers
2.690 long strabracas to final over end windows



A-301



2.690 long strabracas to final over end windows



FIRST FLOOR PLAN

RUSSELL WHARF / KIOSK
BAY OF ISLANDS, FAR NORTH

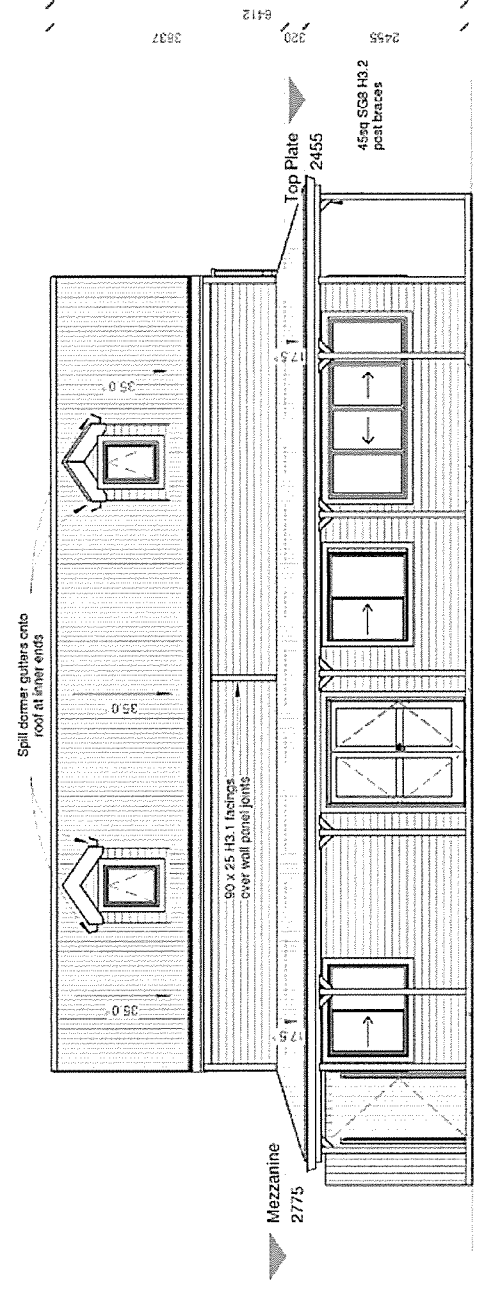
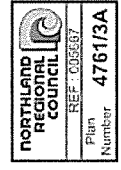
REVISIONS

DATE PRINTED (22-03-18)

Scale: 1:75

Drawn By: Designer

Sheet No. A-102



NORTH ELEVATION RISK MATRIX

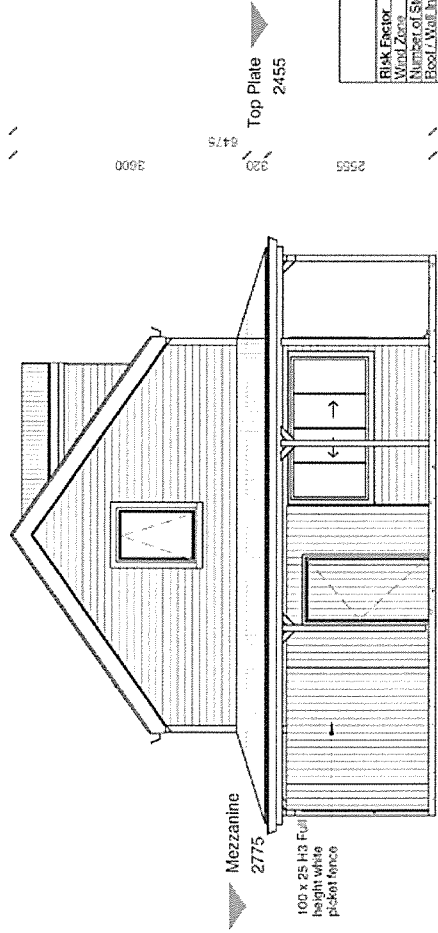
Risk Factor	Risk Severity	Risk Score
Wind Zone	Very High	2
Number of Storeys	High	2
Roof / Wall Intersection Design	Very High	5
Eaves Width	Very High	5
Envelope Complexity	Low	0
Clack Design	Low	0
Total Risk Score		14

ELEVATION NOTES

- ROOFING**
0.40t Corrugated ColorCote AlumiGuard ARX
Roofing with 0.5g soft edge fascias to match @ 35° & 17.5° on self supporting underlayment with 8g blue screws @ 600cs max
- FASCIA & SPOUTING**
200 x 40 H3.1 preprimed fascia & PVC Stormcloak Gutters
- DOWNPIPES**
800 u.P.V.C. downpipes
Install to manufacturers recommendations
- SOFFIT LINING**
14mm thick rigid soffit lining with 100 u.P.V.C. battens
Install to manufacturers recommendations

Existing Wharf

01 NORTH ELEVATION
1:75



02 EAST ELEVATION
1:75



ELEVATIONS (NORTH & EAST)

RUSSELL WHARF / KIOSK
BAY OF ISLANDS, FAR NORTH

DATE PRINTED (22-03-18)

Scale: As indicated
Sheet No. A-201
Drawn By: Designer

EAST ELEVATION RISK MATRIX

Risk Factor	Risk Severity	Risk Score
Wind Zone	Very High	2
Number of Storeys	High	2
Roof / Wall Intersection Design	Very High	5
Eaves Width	Very High	5
Envelope Complexity	Low	0
Deck Design	Low	0
Total Risk Score		14

GLAZING vs WALL CALCULATIONS

Wall Facial	nr of wall	nr of windows	window % of wall
Roof	29.3	19.26	67.79%
East	4.4	8.82	32.91%
North	29.3	19.26	67.79%
West	4.4	8.82	32.91%
Total	128.08	41.8	32.88%

Total glazing of walls is less than 50% of total wall area so passes the H1 Great Northern Glazing Method

H1 CALCULATIONS - SCHEDULE (GREAT NORTHERN METHOD)

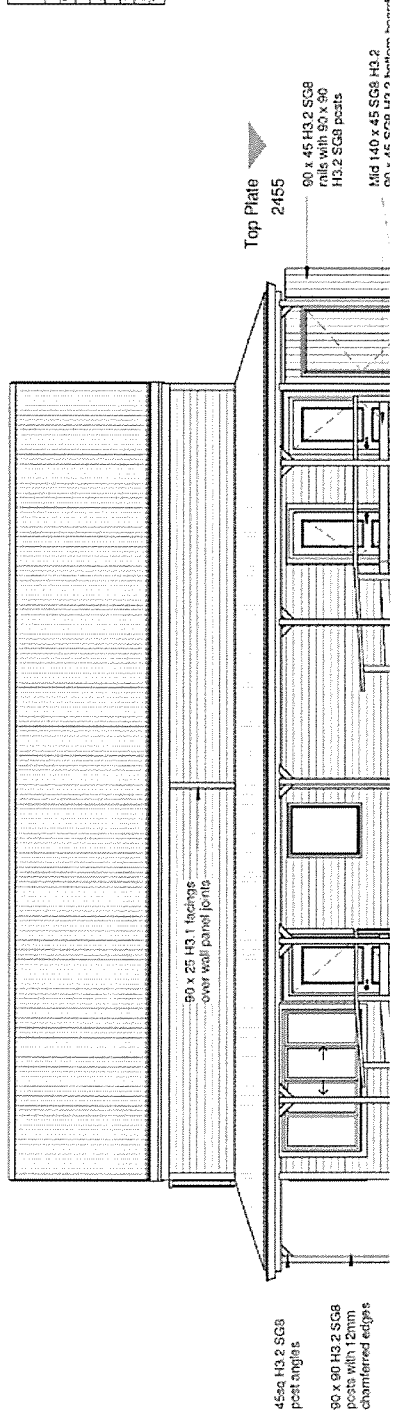
Element	Required	Achieved
Wall Insulation	R1.9	R2.1
Roof Insulation	R2.9	R3.1
Floor Insulation	R1.3	R1.6
Glazing	R0.26	R0.26

Note: Construction R-Values are sourced from BRIANZ House Insulation Guide or Design Navigator

NORTHLAND REGIONAL COUNCIL
REF: 005667
Plan Number: 4761/4A

JOINERY
Powdercoated aluminium joinery double glazed with stiff support bars H3.1 timber reveals install to manufacturers recommendations H3.1 timber linings on all windows and doors

WALLS: Linea Weatherboard
JH Linea Weatherboard 150mm lapped on 20mm drained cavity battens, over fastwrap building paper.

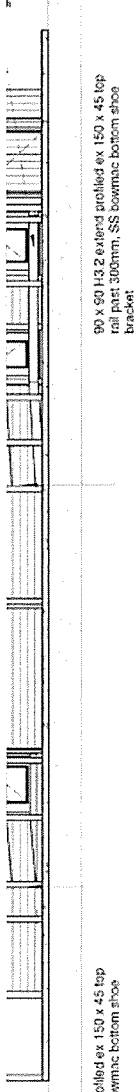


SOUTH ELEVATION RISK MATRIX

Risk Factor	Risk Severity	Risk Score
Wind Zone	Very High	2
Number of Storeys	High	2
Roof / Wall Intersection Design	Very High	5
Eaves Width	Very High	5
Envelope Complexity	Low	0
Deck Design	Low	0
Total Risk Score		14

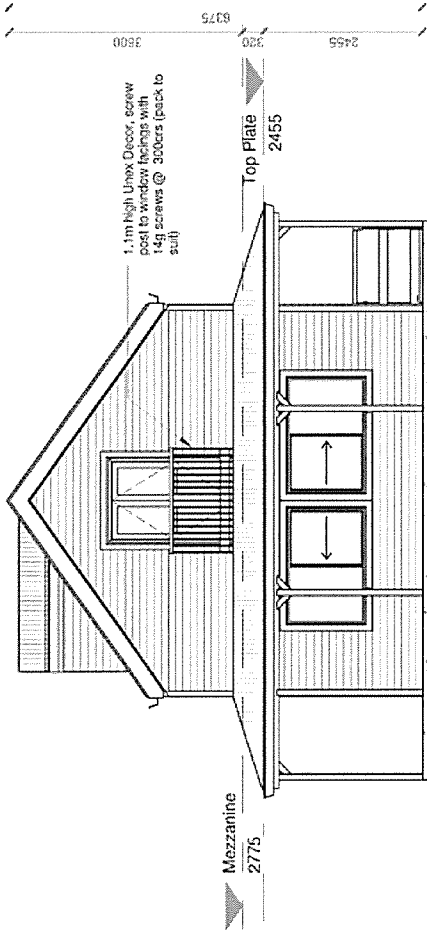
ELEVATION NOTES

- ROOFING**
0.4m Corrugated ColorCo AlumCoat ARX Roofing with 0.5g soft edge fastings to match @ 35° & 17.5° on self supporting underlayment with 8g blue screws @ 600cs max
- FASCIA & SPOUTING**
200 x 40 H3.1 primed fascia & PVC Stormboard Gutters



90 x 90 H3.2 extend profiled ex 150 x 45 top rail post 300mm, SS bowmac bottom shoe bracket

01 SOUTH ELEVATION 1:7.5

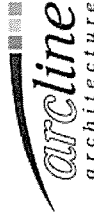


1.1m High Unix Decor, screw post to window fixings with 14g screws @ 300ers (pack to suit)

Mezzanine 2775

02 WEST ELEVATION 1:7.5

49 Malhoun Ave 0410 Kaitiaki
T: (09) 408 2233 F: (09) 408 2358
E: www.arcline.co.nz



ELEVATIONS (SOUTH & WEST)

RUSSELL WHARF / KIOSK
BAY OF ISLANDS, FAR NORTH

DATE PRINTED (22-03-18)

Scale: As indicated
Drawn By: Designer

REVISIONS

Sheet No.

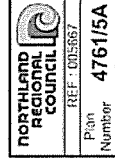
A-202

DOWNPIPES
800 u.P.V.C. downpipes
install to manufacturers recommendations

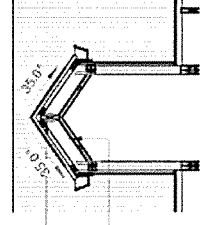
SOFFIT LINING
JH 4.5mm hardiflex soffit lining
with u.P.V.C. joiners
install to manufacturers recommendations

WALLS Unix Weatherboard
JH Unix Weatherboard 180mm lapped on
20mm drained cavity battens, over fastwrap
bulking paper

JOINERY
Powdercoated aluminium joinery
double glazed with sill support bars
H3.1 timber reveals
install to manufacturers recommendations
H3.1 timber facings on all windows and doors

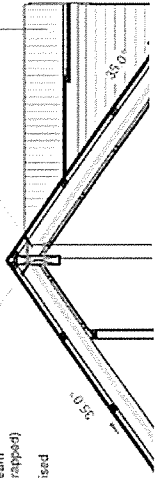


WEST ELEVATION RISK MATRIX		
Risk Factor	Risk Severity	Risk Score
Wind Zone	Very High	2
Number of Storeys	High	2
Roof/Wall Intersection Design	Very High	5
Eaves Width	Very High	5
Envelope Complexity	Low	0
Deck Design	Low	0
Total Risk Score		14

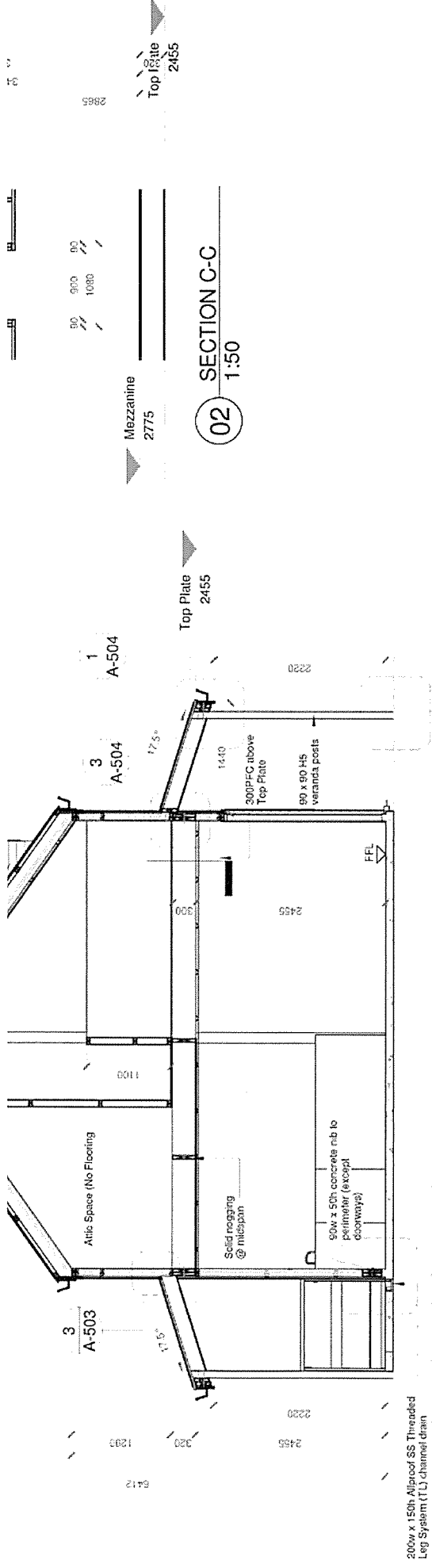


190 x 45 SG8 H1.2 ridgebeam with multigrips to both sides
140 x 45 SG8 H1.2 rafters @ 400 c/s max with 600 strapbrcs fixings to top plate

190 x 45 H1.2 SG8 rafters @ 800ers fixed to ridgebeam with multigrips to boom sides, fix with 4x100mm x 3.15 pan nails & 600 long strapbrcs onto top plate



450 x 85 H1.2 PL17 Purlin ridge beam (vinea grade, sanded sealed and wrapped)
1 x 1875KN uplift
2 braces under, 2 brace with galvanised ZNFD bolts with 60sq washers



200w x 150h Aluprof SS Threaded Leg System (TL) channel drain

01 SECTION A-A
1:50

- ROOFING**
0109 Coloured ColorCote AlumGuard Roofing with 0.55 offset edge flashings to match @ 35° & 17.5° on self-supporting underlay with 8x Blue screws @ 600cs max. on 70 x 45 SGB H1.2 purlins on flat @ 900cs max. Fastwrap building paper laid horizontally
- FASCIA SPOUTING & DOWNPIPES**
200 x 40 H3.1 prepared fascia & PVC Stormcloud Gutters with 600 u.P.V.C. downpipes install to manufacturers recommendations
- SCOFF LINING**
JH 7.5mm Hard-Groove soffit lining with silicone joints. install to manufacturers recommendations
- RAFTERS**
192 x 45 SGB H1.2 @ 600cs. fix with 4100mm x 3.15 gsm nails & 600 long strabracess onto top plate

02 SECTION C-C
1:50

- TRUSSES (Mezzanine Roof Space)**
@ 2000c/s Refer to manufacturer design and specifications for truss spacing. fix to top plates as per truss manufacturers schedule min 250x45 H1.2 SGB in total wall framing install to manufacturers recommendations
- EXTERIOR WALLS & INSULATION**
90x45 H1.2 SGB external wall framing studs @ 400cs, nogs @ 800cs (up to 2.4m)
250 45 H1.2 SGB external wall framing studs @ 600cs, nogs @ 800cs (up to 3.0m)
R2.2 insulation to external walls
install to manufacturers recommendations
- WALLS VERTICAL SHIP LAP**
JH Linea Weatherboard with 155mm cover over 20mm drained cavity

- RIGID AIR BARRIER**
Trim Ecoply Barrier Panel
- INTERIOR WALLS**
90x45 H1.2 SGB internal wall framing studs @ 400cs, nogs @ 800cs (up to 2.4m)
250 45 H1.2 SGB internal wall framing studs @ 600cs, nogs @ 800cs (up to 3.0m)
- TOP PLATE**
Solid Ply 2000 x 300 x 30 PFC Refer top engineers for specifications
Mezzanine 250 x 45 H1.2 SGB
- BOTTOM PLATE**
250 x 45 SGB H1.2 on DPC with M12 Tub bolts & 50sq washers @ 900cs
- JOINERY**
Powder coated aluminium joinery double glazed with sill support bars powder coated head flashings to match H3.1 timber reveals to suit architectes
install to manufacturers recommendations
- CEILING**
13mm gib standard ceiling lining either fixed to us of rondo ceiling battens clip fixed @ 900cs (requiring to wet areas)
R3.2 blanket insulation to all ceilings

- CONCRETE SLAB**
230Pa concrete top slab 100mm thick
finish to SCS
50w x 50h concrete nrb to perimeter (except downways)
0.25mm polythene DPM
- FLOORING**
20mm Strandboard flooring (Mezzanine Floor)

	Plan Number	4761/6
	REF: 005957	

DATE PRINTED (22-03-18)

Scale: As indicated
Sheet No. A-301
Drawn By: Designer

REVISIONS

RUSSELL WHARF / KIOSK
BAY OF ISLANDS, FAR NORTH

SECTION A-A & SECTION C-C

49 Matthews Ave 0110 Kaitiaki
T: 09-408 2353 F: 09-408 2356
E: www.arcline.co.nz



NORTHLAND REGIONAL COUNCIL
REF: C05667
Plan Number 4791/1

RS Eng Ltd
09 438 3773
office@rseng.co.nz
2 Seaview Road,
Whangarei 0110

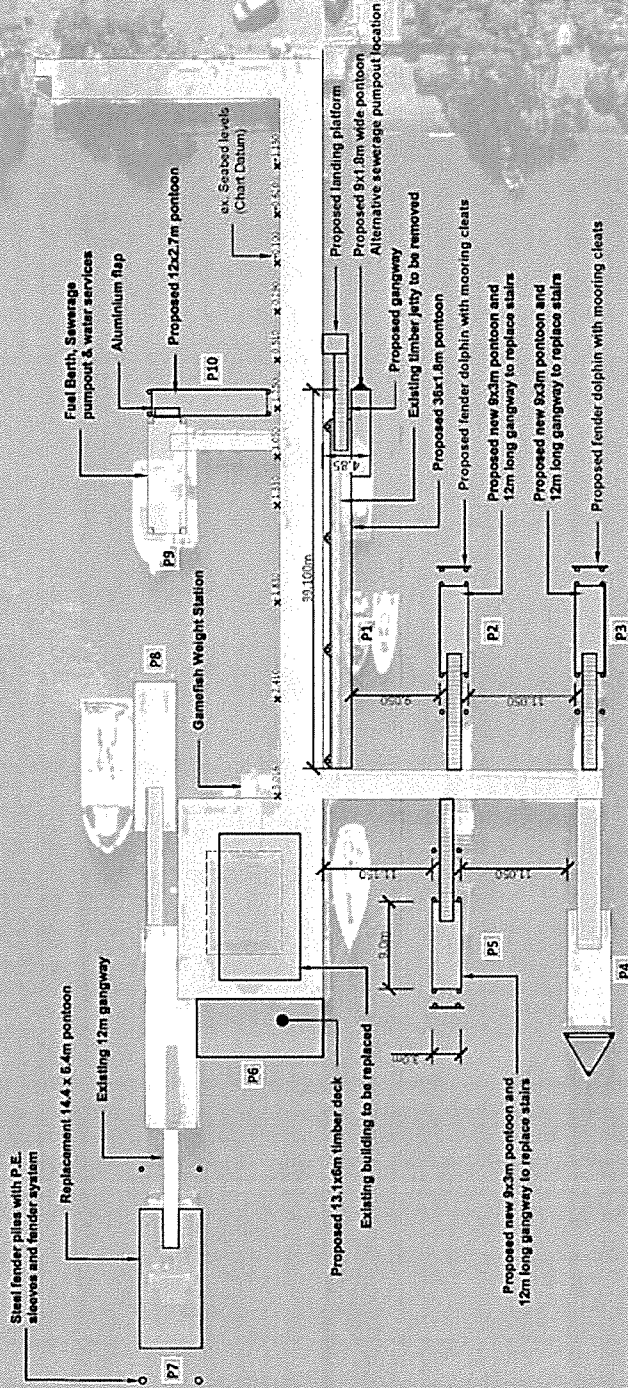
The **RUSSELL WHARF DEVELOPMENT**
VARIOUS WHARF UPGRADES - FAR NORTH

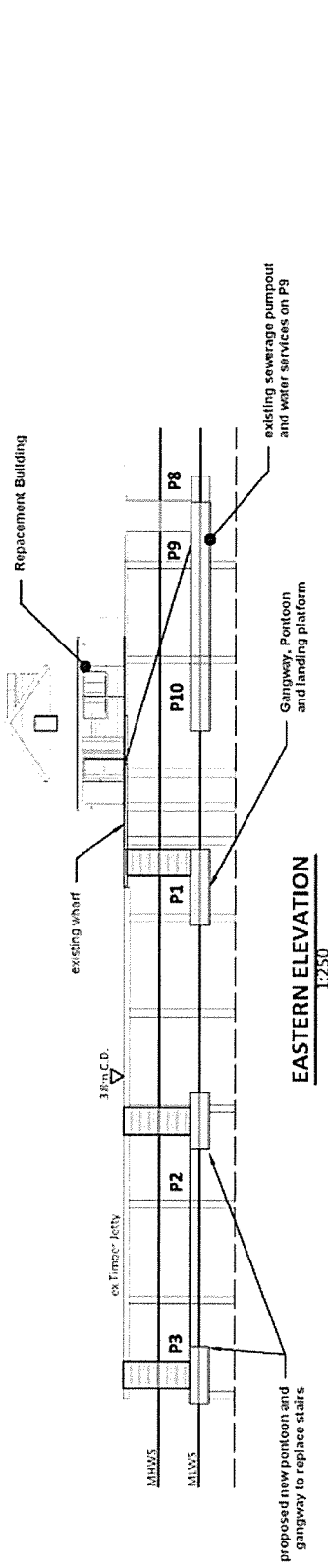
Client: **Far North Holdings Limited**

Location: **THE STRAND RUSSELL**

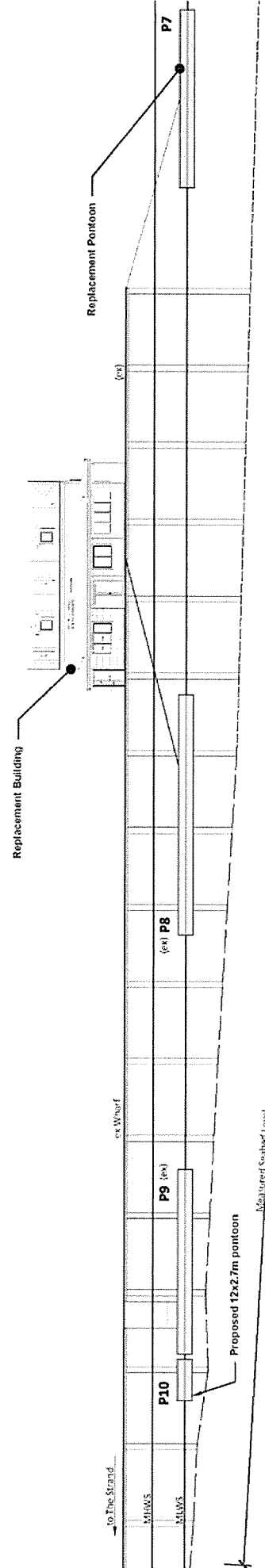
05/05/18	E	Resource Consent Changes
28/03/18	D	For Tender
22/03/18	C	For Resource Consent
09/03/18	B	Jumping Platform removed
Date	Rev	Notes
Scale	1:500	Original A3
Drawn by	NW	Approved by
		RB
		File
		15867
		Sheet
		1

THE STRAND





EASTERN ELEVATION
1:250



NORTHERN ELEVATION
1:250

NORTHLAND REGIONAL COUNCIL
REF: 0056667
Plan Number **4791/2**

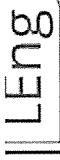
Date	Rev/Iss	Description	By	Appr
09/02/18	A	Original Elevation Issue		
19/02/18	B	Jumping Platform removed		
09/03/18	C	For Tender		
28/03/18	D	Resource Consent Changes		

Far North Holdings Limited

**RUSSELL WHARF DEVELOPMENT
PROPOSED CONCRETE WHARF EXTENSION**

RS Eng Ltd
09 438 3273
office@RSEng.co.nz





2 Seaview Road,
Whangarei 0110

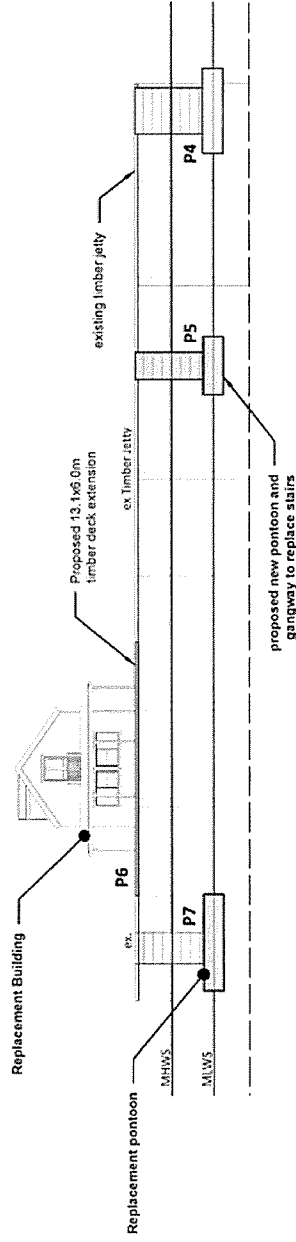
THE STRAND, RUSSELL
BAY OF ISLANDS

Drawn by
NW

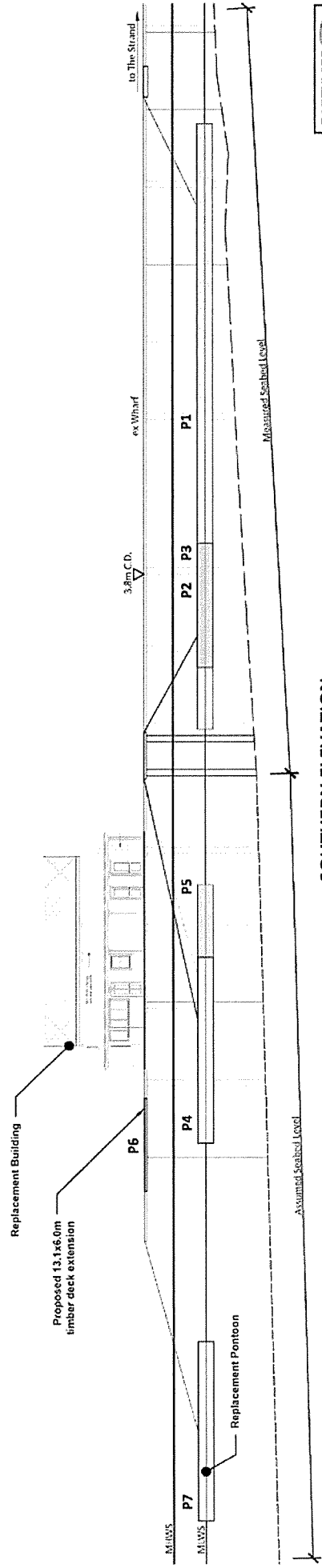
Approved by
RB

File
15867

Sheet
2





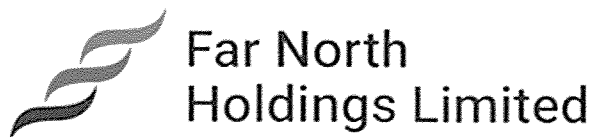
WESTERN ELEVATION
1:250



SOUTHERN ELEVATION
1:250



		RS Eng Ltd 09 438 3273 office@RSEng.co.nz 2 Seaview Road, Whangarei 0110	
Title RUSSELL WHARF DEVELOPMENT PROPOSED CONCRETE WHARF EXTENSION		Client  Far North Holdings Limited	
Location THE STRAND, RUSSELL BAY OF ISLANDS		Date 06/04/18 D Resource Consent Changes 28/03/18 C For Tender 09/03/18 B Jumping Platform removed 19/02/18 A Original Emissions Issue	
Scale 1:250		Design A3	
Drawn by NW		Approved By RB	
Title 15867		Rev 0	
Sheet 3			



<https://www.fnhl.co.nz/current/>

Russell Wharf Development

Work on the \$1.281m Russell Wharf upgrade project, contracted to Bellingham Marine, will start on Friday 26 April 2019 and is expected to last until the end of August. The Provincial Growth Fund has contributed \$1.114m to this project.

Work will start after Easter and avoids interfering with the operation of the wharf during the peak tourism season. Far North Holdings has consulted with regular commercial users of the wharf and has agreed a schedule of works to ensure that the wharf remains operational during this period.

All elements of the wharf upgrade have been subject to extensive community consultation and Far North Holdings has incorporated changes that include some the feedback received.

The company has agreed to a request from Kororareka Marae to delay the construction of the proposed new wharf building until such time as the new entity that will represent the community in the joint management of the wharf has been established.

Kororareka Marae has concerns over toilets being incorporated in the new wharf building (a requirement of building consent) and about the sewerage pump-out station for non-commercial vessels that had previously been incorporated in plans for the upgrade of Russell Wharf. The marae has expressed cultural concerns around the issue of sewerage over water.

A 'hold' on work relating to these facilities will enable further discussion on these matters with the new joint wharf management entity that will represent the Russell community.

Other consented work programmed for the wharf, funded through the PGF (see image below), will start as planned on 26 April 2019 with the agreement of the community and the marae.



Photo: Bay of Islands Information Centre

Council-owned company Far North Holdings has consent to revamp the old wharf, pipe sewage and build a boat sewage pump-out station facility on it.

Kororareka marae trustees told the company last week the idea of toilets over water was culturally offensive and they hadn't been consulted.

Far North Holdings said it would delay the construction of the cafe until a new community trust had been set up to co-manage the wharf.

Marae chair Deb Rawiri said tangata whenua looked forward to co-designing wharf facilities that reflected community needs and Māori concerns.

Far North Holdings said other work planned for the wharf, funded by the Provincial Growth Fund, would begin next month

- [New Zealand](#)
 - [World](#)
 - [Politics](#)
 - [Pacific](#)
- [Te Ao Māori](#)
 - [Sport](#)
 - [Business](#)
 - [Country](#)
- [Comment & Analysis](#)
 - [In Depth](#)
 - [Weather](#)

[TE AO MĀORI](#)
24 Mar 2019

Wharf plan on hold after local iwi object over sewage

11:21 am on 24 March 2019

Share this

- [Share on Twitter](#)
- [Share on Facebook](#)
- [Share via email](#)
- [Share on Google Plus](#)
- [Share on Reddit](#)
- [Share on Linked In](#)

Plans for a cafe and toilets on the Russell wharf are now on hold - after strong objections from local Māori.



Photo: Bay of Islands Information Centre

The council-owned company Far North Holdings has secured a million-dollar grant for the project from the Provincial Growth Fund.

But local Māori and some others in the community remain opposed.

Far North Holdings wants to strengthen the wharf, provide extra berths, and replace the ticket kiosk with a cafe, complete with toilets for the growing number of visitors to Russell.

For tangata whenua, the toilets are a major problem, according to Kororāreka marae chair Deb Rewiri.

Leaving aside the risk of breaks, leaks and spills, she says the idea of toilets over water is offensive.

"From a cultural perspective, we're saying no. This is not negotiable or debatable. We will not agree to having a toilet in the wharf. Everything inside of us is speaking against it. And in terms of a cafe - they cannot operate a cafe unless there's a toilet there.

Toilets on Russell wharf: 'We're saying no' - tangata whenua

3:25 pm on 12 March 2019

Share this

- [Share on Twitter](#)
- [Share on Facebook](#)
- [Share via email](#)
- [Share on Google Plus](#)
- [Share on Reddit](#)
- [Share on Linked In](#)



Lois Williams, Northland Reporter

@loiswilliamsrnz lois.williams@rnz.co.nz

A controversial plan to revamp the historic Russell wharf with a cafe and toilets is set to gain final sign-off within a fortnight.

The marae also had a problem with the cafe building, which would take up more space on the wharf than the present kiosk.

The wharf was congested already, and expansion to cater to tourists threatened the community's use of it, Ms Rewiri said.

"Our children still have their swimming sports on (from) the wharf ...our children swim off the wharf; we've got a lot of other activities associated with the wharf that have been carried out for a very long time," she said.

Far North Holdings said the company has listened to local concerns and reduced the size of the cafe, altering plans for a mezzanine floor.

The wharf plans will not affect local activities, and sewage would be piped securely to Russell's treatment plant, according to chief executive Andy Nock.

The nearest public toilets in Russell itself are a ten minute walk away and inadequate to cope with growing visitor numbers and people waiting for a ferry, he said.

The Russell Protection Society has also objected to the changes planned for the wharf.

The wharf was a public asset but the public had been denied the formal right to have a say in its future, the society's president Bob Drey said.

Although there had been public meetings, organised by the company and the Russell Wharf and Waterfront Trust, the plan had not been publicly notified.

He said if the plan had been publicly notified, it could have been challenged in the Environment Court.

The society was also concerned by the clause in the council's sale agreement with far North Holdings, stating that if the wharf were ever to be sold, the Wharf Trust had the first option to buy it, he said.

"Far North Holdings is a commercial organisation and presumably will try to make sure the wharf earns them some income. If it doesn't, and wharves are very expensive to maintain, then it could be sold off and that concerns us greatly," he said.

However, Mr Nock said a sale was not on the cards.

"I mean, it's a fundamental infrastructure asset so I don't see that happening...it's either going to be with far North Holdings or with the council," he said.

Regional Council consents manager Jeff Heaps said Far North Holdings' latest design for the wharf building, which would gain final sign off this month actually had a slightly larger footprint than the earlier one.

But he said the variation was not significant enough to trigger public notification.

Ms Rewiri said Kororāreka marae remained adamantly opposed to the wharf toilets and would be calling on other hapū to support a public meeting as soon as possible to discuss their options.



The Russell wharf in the Bay of Islands. Photo: 123RF

The Far North Council-owned wharf is in line for a million-dollar makeover from the government's Provincial Growth Fund, if the business case stacks up.

The council is keen to hand the wharf over to its commercial arm, Far North Holdings, which runs most of its wharves and boat-ramps.

But businessman Doug Owens said he and others feared the company would turn the old-style wharf into a commercial clone of its other wharves at Paihia and Opuia.

"There is a hard-core bunch of Russell people who are very concerned about what's happening here," he said.

"In effect, our wharf is being stolen from us. At the moment most people do not realise what is going on. Fortunately I do, and I'm taking a stand," Mr Owens said.

The majority of submitters to the Far North Council's long-term plan this month were in favour of transferring the wharf to Far North Holdings, which runs most of the council's other marine facilities.

Row brewing in Far North: 'Our wharf is being stolen from us'

1:53 pm on 30 April 2018
Share this

- [Share on Twitter](#)
- [Share on Facebook](#)
- [Share via email](#)
- [Share on Google Plus](#)
- [Share on Reddit](#)
- [Share on Linked In](#)



Lois Williams, Northland Reporter

[@loiswilliamsrnz](#) lois.williams@rnz.co.nz

A Russell ratepayer is threatening court action over moves to change the ownership of the town's wharf.

But a Bay of Islands Swordfish Club member Nigel Zambucka said most people would not have been aware of the latest version of resource consents granted to Far North Holdings to change the wharf.

Mr Zambucka said the changes included a larger cafe with toilets; a sewage pump-out station; pontoons and large water tanks, all of which would change the look of the wharf and reduce public space.

"The first version of the resource consent said the changes should not alter the wharf's character, or turn it into a wharf/marina hybrid that would be at odds with the historic values of Russell," he said.

"But that's exactly what will happen if this goes ahead."

Far North Mayor John Carter said Russell people would be consulted on the wharf plans as they developed and it would remain a community asset.

"It's to be retained in council and community ownership; the community board is monitoring this to make sure we are all monitoring it to make sure we end up with the best outcome for Russell and our district," Mr Carter said.

But Doug Owens said the resource consents granted to Far North Holdings by the Northland Regional Council had not been publicly notified, and been quietly modified several times.

The Tauranga businessman and former Bay of Plenty Regional Council member said he was preparing to challenge the Russell wharf resource consents in the High Court.

"If we can get people back to the table maybe we can work out a solution.

"But somebody's tried to take advantage here I think, and it smacks of a set-up. I don't like that," Mr Owens said.

Far North Holdings chief executive Chris Galbraith said the company has no intention of spoiling the wharf.

"There's definitely a view that the wharf needs to remain much as it is and keep its wharf-y feel, if you like, and ... I'm sure those aspirations can be met.

The new cafe needed to be slightly bigger than the present kiosk, to make the business viable, but it would look very similar to the current building, he said.

The two toilets would be part of the cafe structure and the water tank to service them would be built into the cafe's walls.

There was no risk of a sewage spill from either that or the sewage pump-out station, Mr Galbraith said.

"It's a closed system.

"There's a much greater risk currently of boats discharging sewage into the bay," he said.

"They need a facility to remove this from the boats rather than dump it into the marine environment in the wider Bay of Islands."

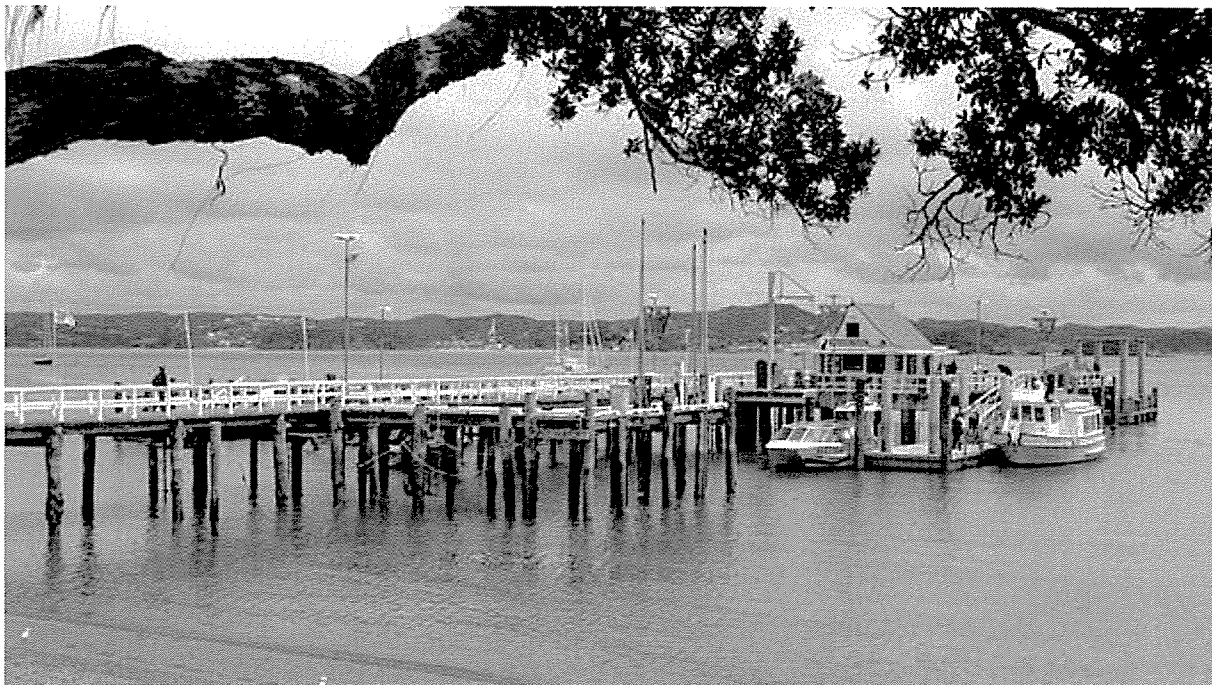
MBIE said officials had yet to assess the business case for the wharf grant applied for by Far North Holdings Limited.

It confirmed that either the council or FNHL would have been eligible to apply.

Community supports Russell Wharf kiosk development

27 Jul, 2018 12:00pm

2 minutes to read



The community has voted in favour of redeveloping the existing kiosk on Russell Wharf. Photo / Peter de Graaf

Northern Advocate

The community has voted in favour of redevelopment of the kiosk on Russell Wharf, with toilets and a game fish weigh station.

Far North Holdings, the commercial arm of the Far North District Council, ran a consultation process on the wharf with the Russell community. A total of 139 submissions were received.

The majority, 61 per cent, voted in favour of redeveloping the existing, non-compliant kiosk on Russell Wharf.

Just over half of those who supported redevelopment, 54 per cent, opted for the design that is currently consented.

Toilets were supported by 69 per cent of those who submitted an opinion on whether the building should have public toilets instead of a fourth public bench.

A wharf extension with a game fish weigh station was supported by 86 per cent of those who offered a view on the matter, saying the wharf development plans should be re-submitted for consent with the extended area.

Far North Holdings chief executive Andy Nock said work on the kiosk would start only after Easter 2019, once repair and renovation work on the main wharf structure had been completed and after the peak 2018/2019 summer season tourist traffic.

"The community told us in no uncertain terms that the wharf should be the priority and we agree completely," Nock said.

The development window allows further informal engagement with all members of the community, particularly tangata whenua, on aspects of the building design.

Community concern over the proposed pump-out facility for recreational boats has prompted Far North Holdings to "triple-check" the viability of this facility with council staff and engineers, to ensure capacity is not an issue, Nock said.

"Of all the issues and objections we discussed with the Russell community, by far the greatest concern was around this aspect of design," he said.

"I want to review the work that has taken place and re-validate that the pump-out facility will operate within the constraints of the current [wastewater] system, to ensure that FNHL and council staff have all got their facts straight before we go anywhere near this work."

Decisions reached on Russell Wharf

Most submissions to a public consultation process on a building to replace the existing, non-compliant kiosk on Russell Wharf have favoured redevelopment, with design-option A emerging as the preferred choice.

	Number of questionnaires	TOTAL FOR / AGAINST / HOLD
OPTION A	46	85
OPTION B	23	
OPTION C	16	
NO CHANGE	45	45
NO DECISION TO BE TAKEN UNTIL TRUST FORMED	9	9
Totals	139	139

Far North Holdings received 139 submissions as part of its voluntary consultation process involving the Russell community. Of these, 85 (61 percent) indicated that they wanted the existing kiosk to be redeveloped.

Just over half (54 percent) of those who supported redevelopment opted for design-option A, the design that is currently consented.

Of the 64 people who submitted an opinion on whether the building should feature public toilets instead of a fourth public bench, 68.75 percent opted for the lavatories.

Fifty people offered a view on whether the currently consented wharf development plans should be re-submitted for consent with an extended area for a game-fish weigh-station. Of these, 43 opted for the extension.

Far North Holdings chief executive Andy Nock said work on the building would only start after Easter 2019, once repair and renovation work on the main wharf structure had been completed and after the peak 2018/2019 summer season tourist traffic.

“The community told us in no uncertain terms that the wharf should be the priority and we agree completely,” Mr Nock said.

This window will allow further informal engagement with all members of the community, particularly tangata whenua, on aspects of the building design.

Mr Nock said Far North Holdings would revisit the idea of a pump-out facility for recreational boats and would triple-check the viability of this facility with Far North District Council staff and engineers to ensure that capacity was not an issue.

“Of all the issues and objections we discussed with the Russell community, by far the greatest concern was around this aspect of design,” Mr Nock said. “I want to review the work that has taken

place and re-validate that the pump-out facility will operate within the constraints of the current system, to ensure that FNHL and Council staff have all got their facts straight before we go anywhere near this work.”

Mr Nock thanked the people of Russell for their “outstanding” contribution to the consultation process.

This process, combined with the consultation we undertook over our proposals for renovation of the wharf, has resulted in a robust plan that will meet the needs of wharf users and most of the members of the community who expressed interest in the issues.”

Far North Holdings is releasing the full results of the community submissions on the aspects of the building and wharf design.

All submission forms will be held at FNHL’s offices in case anybody wishes to validate their submission. The names of all who submitted will also be made publicly available, although details of their submissions will not.

There were only seven people who took advantage of the process that was put in place to enable anonymous submissions.

LTP 2018-28 FREQUENTLY ASKED QUESTIONS

Russell Wharf

Why is Council considering transferring the wharf to FNHL?

The Council's commercial company Far North Holdings Ltd (FNHL) has asked the Council to transfer Russell Wharf to it for \$1 so it can develop a café, i-SITE Visitor Information Centre on the wharf and improve circulation space. FNHL already manages and maintains the Russell Wharf on the Council's behalf. It is currently replacing the main commercial pontoon.

If the transfer occurred, FNHL would be responsible for maintaining the wharf and replacing materials. The transfer would save the ratepayer money (on average \$100,000 per year) as Council would no longer have to depreciate the asset and collect money to fund this, operations, maintenance and future renewals. New work and improvements would also become the responsibility of FNHL.

Future development aspirations include:

- Replacing the low tidal landings with floating concrete pontoons
- Removing the fixed timber landing jetty and replacing this with a concrete pontoon
- New dinghy dock
- A wharf extension to the west to provide more visitor space and improve passenger flow
- Platform
- Sewage and water services across the fuel pontoon
- Super yacht mooring blocks.

FNHL has a proven track record and the experience required to manage, maintain and develop the wharf.

What about the Council's relationship with the community and its agreement with the Russell Wharf and Waterfront Trust?

The Russell Wharf is a vital piece of infrastructure for the people of Russell; locals describe it as a 'lifeline' and the community's 'State Highway 1'.

Council has a long and successful relationship working with community, the Trust and FNHL to manage and improve the Russell Wharf.

In 2011, the Wharf needed repair (replacing piles, walkway planks and steps) and the community wanted enhancements to occur. Council and the Russell community (through the Russell Wharf and Waterfront Trust) worked together to complete the repairs and improvements (including the boat ramp which was built with volunteer labour). The community funding and volunteer time enabled the work to be completed in 2012. Council and the Trust entered into an agreement that would keep the Wharf in public ownership or give first option to the Trust to acquire the Wharf at market rates if the Council decided to sell the Wharf. In addition, if a sale occurred within 10 years Council would repay the amount raised by the community towards the Wharf (\$100,000) to the Trust.

At a public meeting in Russell (late 2017) the community highlighted further enhancements to the Wharf that it would like to see occur and a desire for a long term vision and plan for the Wharf.

Subsequently Council staff and the Community Board Chairperson have discussed with FNHL how we could work closely with the Russell Wharf and Waterfront Trust and the wider Russell community to develop and agree a 50 year vision and implementation plan that provides for community input into the Wharf's development, future direction, management and governance, and leverages funding opportunities. The vision is for a partnership agreement between FNHL and the Russell Wharf and Waterfront Trust to be formalised, with the trust expanding its governance so everyone in the community is represented.

Over the course of the consultation period (5 March to 4 April 2018) further community engagement lead by the Trust and FNHL and supported by Council will occur. This includes a drop-in session on Tuesday, 20 March from 11am to 7pm at the Russell Town Hall. There will be presentations at 11am, 2pm and 6pm.

Will FNHL on-sell the Russell Wharf to a private developer?

No. FNHL is a Council Controlled Trading Organisation. While it is a company in its own right, Council is the only shareholder. Council can stipulate in the terms of the transfer and direct FNHL to include in its Statement of Intent that should FNHL no longer wish to own the Wharf that it is transferred back to Council.

What if the community does not like what FNHL plan to do with the wharf?

FNHL wants to work closely with the Russell Wharf and Waterfront Trust and the Russell community. The development of the vision for the Wharf and implementation plan will include community input and Council will retain ownership of FNHL.

What about the government funding for Russell Wharf announced in March?

On 16 March, Regional Economic Development Minister Shane Jones announced that Central Government would invest up to \$5 million for significant upgrades to Russell, Paihia and Opuia Wharves, as part of the Provincial Growth Fund (PGF).

The \$1.114 million for Russell wharf is for work including replacing low tidal landings with floating concrete pontoons, removing the fixed timber landing jetty and replacing it with a concrete pontoon, a new dinghy dock, a wharf extension to the west for more visitor space and improved passenger flow, and a sewage and water service across the fuel pontoon.

FNHL already owns Paihia and Opuia Wharves.

Erica Cooney

From:
Sent: Wednesday, 18 October 2017 12:00 p.m.
To:
Cc:
Subject: Russell Wastewater Capacity, Cafe on the Wharf

Hi
This is one we need to be careful of tonight.

FNH are wanting to put a Café on the wharf. Technically it is outside the AoB. From past conversations the Locals are very hot on any extension to the AoB. I think it is also intended as a boat dump site which have benefits for the environment, but which also increase the loading on the WWTP

Right now the plant is near capacity during the peak times, but after the planned upgrades, accommodating the Café won't be a problem, but we need to look closely at any boat dump proposal as these can cause issues.

Om a separate issue, with the Café over the water, we can't charge it rates, so I don't know how we can charge it for the WW discharged..

Tomorrow I will need to give an answer regarding the Café, but will wait to see what occurs tonight.

[FNDC logo]<<http://www.fndc.govt.nz/>>

Assets Manager - 3 Waters

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

Website<<http://www.fndc.govt.nz/>> | Facebook<<http://www.facebook.com/FarNorthDistrictCouncil>> | LinkedIn<<http://www.linkedin.com/company/far-north-district-council>> | Careers<<http://fndc.govt.applyfirst.net/>>

From:
Sent: Wednesday, 18 October 2017 11:49
To:
Cc:
Subject: FW: Russell Wastewater Capacity

Hi,
Have you got a plan/location to look at?
Barry.....any issues with the proposal if the café is within the AoB?

Cheers
Sujeet

[FNDC logo]<<http://www.fndc.govt.nz/>>

Development Engineer

Website<<http://www.fndc.govt.nz>> | Facebook<<http://www.facebook.com/FarNorthDistrictCouncil>> | LinkedIn
<<http://www.linkedin.com/company/far-north-district-council>> | Careers<<http://fndc.govt.applyfirst.net/>>

From:
Sent: Wednesday, 18 October 2017 11:04 a.m.
To: ;
Subject: Russell Wastewater Capacity

Hi ,

Can you please give me an indication as to the available capacity of the Russell Sewerage scheme?
FNHL are planning to build a small café, and we just need to confirm the details as part of the application to connect that I lodged with

Thanks

[FNDC logo]<<http://www.fndc.govt.nz/>>

Cadet - Engineering

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

Website<<http://www.fndc.govt.nz>> | Facebook<<http://www.facebook.com/FarNorthDistrictCouncil>> | LinkedIn
<<http://www.linkedin.com/company/far-north-district-council>> | Careers<<http://fndc.govt.applyfirst.net/>>

Erica Cooney

From:
Sent: Wednesday, 18 October 2017 12:29 p.m.
To:
Cc:
Subject: RE: Russell Wharf Sewer Connection

No to the sewer above the stormwater

[FNDC logo]<<http://www.fndc.govt.nz/>>

Assets Manager - 3 Waters

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

Website<<http://www.fndc.govt.nz/>> | Facebook<<http://www.facebook.com/FarNorthDistrictCouncil/>> | LinkedIn
<<http://www.linkedin.com/company/far-north-district-council/>> | Careers<<http://fndc.govt.applyfirst.net/>>

From:
Sent: Wednesday, 18 October 2017 11:55
To:
Subject: FW: Russell Wharf Sewer Connection

Hi

FYI.

Cheers

[FNDC logo]<<http://www.fndc.govt.nz/>>

Consents Technician

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

>[fndc.govt.nz](http://www.fndc.govt.nz/)>

Website<<http://www.fndc.govt.nz/>> | Facebook<<http://www.facebook.com/FarNorthDistrictCouncil/>> | LinkedIn
<<http://www.linkedin.com/company/far-north-district-council/>> | Careers<<http://fndc.govt.applyfirst.net/>>

From:
Sent: Wednesday, 18 October 2017 11:48 a.m.
To:
Cc:
Subject: RE: Russell Wharf Sewer Connection

Hi

The team have had the idea of placing the sewer line over the top of the existing stormwater line.

Then we don't have to worry about Historic places or any archaeological discoveries.

Seems like a good time to do any maintenance to the stormwater line while we are out there-
do you intend to do any works here- (could save FNDC money if FNHL are already paying for excavation

Thanks

[cid:image007.png@01D3480A.F4CB3FB0]

[FNDC logo]<<http://www.fndc.govt.nz/>>

Cadet - Engineering

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

Website<<http://www.fndc.govt.nz/>> | Facebook<<http://www.facebook.com/FarNorthDistrictCouncil>> | LinkedIn
<<http://www.linkedin.com/company/far-north-district-council>> | Careers<<http://fndc.govt.applyfirst.net/>>

From:
Sent: Tuesday, 10 October 2017 2:52 p.m.
To:
Subject: RE: Russell Wharf Sewer Connection

Hi

No worries will lodge it and once you have excepted the quote will invoice for the application fee then.

Thanks

[FNDC logo]<<http://www.fndc.govt.nz/>>

Consents Technician

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

Website<<http://www.fndc.govt.nz/>> | Facebook<<http://www.facebook.com/FarNorthDistrictCouncil>> | LinkedIn
<<http://www.linkedin.com/company/far-north-district-council>> | Careers<<http://fndc.govt.applyfirst.net/>>

From:
Sent: Tuesday, 10 October 2017 2:49 p.m.
To:
Subject: Russell Wharf Sewer Connection
Importance: High

Hi

I've got a tricky wastewater connection application for you.
FNHL are going to rebuild the Russell Wharf building (currently the information centre) early next year.
As part of this, we will require a new sewer connection from the main line along York street, down Cass street to The Strand, where our drain layer will install the private line down the wharf.

From the calculations we have done, this will require about 75 metres of directional drilling under Cass Street, and installation of a new manhole at the Cass/York Street main line. It looks like it's going to be an expensive one.

The works are planned for 2018 after the busy summer period, but seeing as this is such a tricky one, we would like to get the methodology and price confirmed as soon as possible.

Is it ok to pay the application fee once we accept the quote?

Thanks 😊

[FNDC logo]<<http://www.fndc.govt.nz/>>

Cadet - Engineering

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

Website<<http://www.fndc.govt.nz/>> | Facebook<<http://www.facebook.com/FarNorthDistrictCouncil>> | LinkedIn
<<http://www.linkedin.com/company/far-north-district-council>> | Careers<<http://fndc.govt.applyfirst.net/>>

Erica Cooney

From:
Sent: Wednesday, 18 October 2017 11:49 a.m.
To:
Cc:
Subject: FW: Russell Wastewater Capacity

Hi
Have you got a plan/location to look at?
...any issues with the proposal if the café is within the AoB?
Cheers



Development Engineer

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

[Website](#) | [Facebook](#) | [LinkedIn](#) | [Careers](#)

From:
Sent: Wednesday, 18 October 2017 11:04 a.m.
To:
Subject: Russell Wastewater Capacity

Hi:
Can you please give me an indication as to the available capacity of the Russell Sewerage scheme?
FNHL are planning to build a small café, and we just need to confirm the details as part of the application to connect that I lodged with
Thanks



Cadet - Engineering

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

[Website](#) | [Facebook](#) | [LinkedIn](#) | [Careers](#)

Erica Cooney

From:
Sent: Thursday, 2 November 2017 1:36 p.m.
To:
Cc:
Subject: FW: Russell Wharf Plans
Attachments: Russell Wharf Kiosk (19-10-17).pdf; RE: Russell Wastewater Capacity

Hi
Thanks for the additional info.

A few points to consider for discussion:

- As per attached emails, the proposal to install the sewer line over the existing stormwater line isn't good engineering practice. The risk is sewerage getting into the stormwater system and discharging to sea in the event of pipe failure.
- Capacity of the wastewater system. Calculated flow volumes for the café are required for assessment. These should be quite low, but confirmation is required
- Rateable area. Being over the water, the development is outside the FNDC rateable area. Therefore a special trade waste/payment agreement would have to be agreed to ensure FNHL pay for the services they receive
- Area of benefit. This is outside the area of benefit and a formal application and approval would need needed before connection can be provided. This may include consultation with the community
- Asset ownership. FNHL would have to install at their cost a line to the public sewer. The section on land would transfer to FNDC once installed. The line on the wharf would remain private.

Cheers



Development Engineer

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

[Website](#) | [Facebook](#) | [LinkedIn](#) | [Careers](#)

From: Aimee Page
Sent: Thursday, 2 November 2017 12:53 p.m.
To:
Subject: Russell Wharf Plans

Hi

Attached are the plans for the Russell Wharf to provide you with some more information regarding the sewer connection.

Kind regards,



Cadet - Engineering

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

[Website](#) | [Facebook](#) | [LinkedIn](#) | [Careers](#)

Erica Cooney

From:
Sent: Wednesday, 18 October 2017 11:51 a.m.
To:
Cc:
Subject: RE: Russell Wastewater Capacity
Attachments: RE: Russell Wharf Sewer Connection

Hi
Please see attached
Thanks



Cadet - Engineering

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

[Website](#) | [Facebook](#) | [LinkedIn](#) | [Careers](#)

From:
Sent: Wednesday, 18 October 2017 11:49 a.m.
To:
Cc:
Subject: FW: Russell Wastewater Capacity

Hi,
Have you got a plan/location to look at?
....any issues with the proposal if the café is within the AoB?
Cheers



Development Engineer

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

[Website](#) | [Facebook](#) | [LinkedIn](#) | [Careers](#)

From:
Sent: Wednesday, 18 October 2017 11:04 a.m.
To:
Subject: Russell wastewater Capacity

Hi
Can you please give me an indication as to the available capacity of the Russell Sewerage scheme?
FNHL are planning to build a small café, and we just need to confirm the details as part of the application to connect that I lodged with
Thanks



Cadet - Engineering

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

[Website](#) | [Facebook](#) | [LinkedIn](#) | [Careers](#)

Erica Cooney

From:
Sent: Wednesday, 18 October 2017 11:48 a.m.
To:
Cc:
Subject: RE: Russell Wharf Sewer Connection
Attachments: Russell Wharf Sewer Connection

Hi

The team have had the idea of placing the sewer line over the top of the existing stormwater line. Then we don't have to worry about Historic places or any archaeological discoveries.

Seems like a good time to do any maintenance to the stormwater line while we are out there-
- do you intend to do any works here- (could save FNDC money if FNHL are already paying for excavation

Thanks



Cadet - Engineering

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

[Website](#) | [Facebook](#) | [LinkedIn](#) | [Careers](#)

From: .
Sent: Tuesday, 10 October 2017 2:52 p.m.
To:
Subject: RE: Russell Wharf Sewer Connection

Hi. ☺

No worries will lodge it and once you have accepted the quote will invoice for the application fee then.

Thanks



Consents Technician

Infrastructure & Asset Management | Far North District Council | 24-hour Contact Centre 0800 920 029

[Website](#) | [Facebook](#) | [LinkedIn](#) | [Careers](#)

From: /
Sent: Tuesday, 10 October 2017 2:49 p.m.
To: /
Subject: Russell Wharf Sewer Connection
Importance: High

Hi

I've got a tricky wastewater connection application for you.
FNHL are going to rebuild the Russell Wharf building (currently the information centre) early next year.
As part of this, we will require a new sewer connection from the main line along York street, down Cass street to The Strand, where our drain layer will install the private line down the wharf.

From the calculations we have done, this will require about 75 metres of directional drilling under Cass Street, and **installation of a new manhole** at the Cass/York Street main line.
It looks like it's going to be an expensive one.

The works are planned for 2018 after the busy summer period, but seeing as this is such a tricky one, we would like to get the methodology and price confirmed as soon as possible.

Is it ok to pay the application fee once we accept the quote?

Thanks ☺



Cadet - Engineering

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

[Website](#) | [Facebook](#) | [LinkedIn](#) | [Careers](#)

Erica Cooney

From:
Sent: Wednesday, 25 October 2017 9:35 a.m.
To:
Cc:
Subject: RE: Russell Wharf Sewer Connection

There are a number of issues to consider;

Capacity,

They would need to confirm flow volumes, but as long as it doesn't contain a boat dump site, these should be low and I don't see this as an issue for reticulation or treatment capacity..

Area of Benefit

This is outside the area of benefit and would need to advise on how it can be approved. I'm unable to provide this approval.

Rateable area

Being over the water, it is outside the FNDC rateable area. Therefore a special trade waste/payment agreement would have to be agreed to ensure they pay for the services they receive.

Asset Ownership.

They would have to install at their cost a line to the public sewer. The section on land would transfer to FNDC once installed. The line on the wharf would remain private.

Local Politics.

There could be a challenge from some locals in allowing this to connect, because it is outside the area of benefit. Any process flowed would need to be robust.

Regards

[FNDC logo]<<http://www.fndc.govt.nz/>>

Assets Manager - 3 Waters

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

Website<<http://www.fndc.govt.nz/>> | Facebook<<http://www.facebook.com/FarNorthDistrictCouncil>> | LinkedIn
<<http://www.linkedin.com/company/far-north-district-council>> | Careers<<http://fndc.govt.applyfirst.net/>>

From:
Sent: Friday, 20 October 2017 11:40
To:
Cc: ,
Subject: FW: Russell Wharf Sewer Connection

Hi any update on this?

[FNDC logo]<<http://www.fndc.govt.nz/>>

Development Engineer

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

Website<<http://www.fndc.govt.nz/>> | Facebook<<http://www.facebook.com/FarNorthDistrictCouncil>> | LinkedIn
<<http://www.linkedin.com/company/far-north-district-council>> | Careers<<http://fndc.govt.applyfirst.net/>>

From: .
Sent: Wednesday, 18 October 2017 12:32 p.m.
To:
Subject: RE: Russell Wharf Sewer Connection

OK I'll include that in my response to tomorrow once I hear back from you re whether the café can connect to WW or not.

[FNDC logo]<<http://www.fndc.govt.nz/>>

Development Engineer

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

Website<<http://www.fndc.govt.nz/>> | Facebook<<http://www.facebook.com/FarNorthDistrictCouncil>> | LinkedIn
<<http://www.linkedin.com/company/far-north-district-council>> | Careers<<http://fndc.govt.applyfirst.net/>>

From: .
Sent: Wednesday, 18 October 2017 12:29 p.m.
To: .
Cc:
Subject: RE: Russell Wharf Sewer Connection

No to the sewer above the stormwater

[FNDC logo]<<http://www.fndc.govt.nz/>>

Assets Manager - 3 Waters

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

Website<<http://www.fndc.govt.nz/>> | Facebook<<http://www.facebook.com/FarNorthDistrictCouncil>> | LinkedIn
<<http://www.linkedin.com/company/far-north-district-council>> | Careers<<http://fndc.govt.applyfirst.net/>>

From:
Sent: Wednesday, 18 October 2017 11:55

To:
Subject: FW: Russell Wharf Sewer Connection

Hi

FYI.

Cheers

[FNDC logo]<<http://www.fndc.govt.nz/>>

Consents Technician

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

Website<<http://www.fndc.govt.nz/>> | Facebook<<http://www.facebook.com/FarNorthDistrictCouncil>> | LinkedIn
<<http://www.linkedin.com/company/far-north-district-council>> | Careers<<http://fndc.govt.applyfirst.net/>>

From:
Sent: Wednesday, 18 October 2017 11:48 a.m.
To:
Cc:
Subject: RE: Russell Wharf Sewer Connection

Hi

The team have had the idea of placing the sewer line over the top of the existing stormwater line.
Then we don't have to worry about Historic places or any archaeological discoveries.

Seems like a good time to do any maintenance to the stormwater line while we are out there-
- do you intend to do any works here- (could save FNDC money if FNHL are already paying for excavation

Thanks

[cid:image003.png@01D34D74.876E6360]

[FNDC logo]<<http://www.fndc.govt.nz/>>

Cadet - Engineering

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

Website<<http://www.fndc.govt.nz/>> | Facebook<<http://www.facebook.com/FarNorthDistrictCouncil>> | LinkedIn
<<http://www.linkedin.com/company/far-north-district-council>> | Careers<<http://fndc.govt.applyfirst.net/>>

From:
Sent: Tuesday, 10 October 2017 2:52 p.m.
To:
Subject: RE: Russell Wharf Sewer Connection

Hi.

No worries will lodge it and once you have accepted the quote will invoice for the application fee then.

Thanks

[FNDC logo]<<http://www.fndc.govt.nz/>>

Consents Technician

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

Website<<http://www.fndc.govt.nz/>> | Facebook<<http://www.facebook.com/FarNorthDistrictCouncil/>> | LinkedIn
<<http://www.linkedin.com/company/far-north-district-council/>> | Careers<<http://fndc.govt.applyfirst.net/>>

From: ,
Sent: Tuesday, 10 October 2017 2:49 p.m.
To:
Subject: Russell Wharf Sewer Connection
Importance: High

Hi

I've got a tricky wastewater connection application for you.
FNHL are going to rebuild the Russell Wharf building (currently the information centre) early next year.
As part of this, we will require a new sewer connection from the main line along York street, down Cass street to The Strand, where our drain layer will install the private line down the wharf.

From the calculations we have done, this will require about 75 metres of directional drilling under Cass Street, and installation of a new manhole at the Cass/York Street main line.
It looks like it's going to be an expensive one.

The works are planned for 2018 after the busy summer period, but seeing as this is such a tricky one, we would like to get the methodology and price confirmed as soon as possible.

Is it ok to pay the application fee once we accept the quote?

Thanks 😊

[FNDC logo]<<http://www.fndc.govt.nz/>>

Cadet - Engineering

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

Website<<http://www.fndc.govt.nz/>> | Facebook<<http://www.facebook.com/FarNorthDistrictCouncil/>> | LinkedIn
<<http://www.linkedin.com/company/far-north-district-council/>> | Careers<<http://fndc.govt.applyfirst.net/>>

Erica Cooney

From:
Sent: Wednesday, 18 October 2017 11:51 a.m.
To:
Cc:
Subject: RE: Russell Wastewater Capacity
Attachments: RE: Russell Wharf Sewer Connection

Hi,
Please see attached
Thanks



Cadet - Engineering

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

[Website](#) | [Facebook](#) | [LinkedIn](#) | [Careers](#)

From:
Sent: Wednesday, 18 October 2017 11:49 a.m.
To:
Cc:
Subject: FW: Russell wastewater Capacity

Hi,
Have you got a plan/location to look at?
.....any issues with the proposal if the café is within the AoB?
Cheers



Sujeet Tikaram

Development Engineer

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029
ddi +6494015376 | m 027 566 1191 | Sujeet.Tikaram@fndc.govt.nz

[Website](#) | [Facebook](#) | [LinkedIn](#) | [Careers](#)

From:
Sent: Wednesday, 18 October 2017 11:04 a.m.
To:
Subject: Russell Wastewater Capacity

Hi
Can you please give me an indication as to the available capacity of the Russell Sewerage scheme?
FNHL are planning to build a small café, and we just need to confirm the details as part of the application to connect that I lodged with
Thanks



Cadet - Engineering

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

[Website](#) | [Facebook](#) | [LinkedIn](#) | [Careers](#)

Erica Cooney

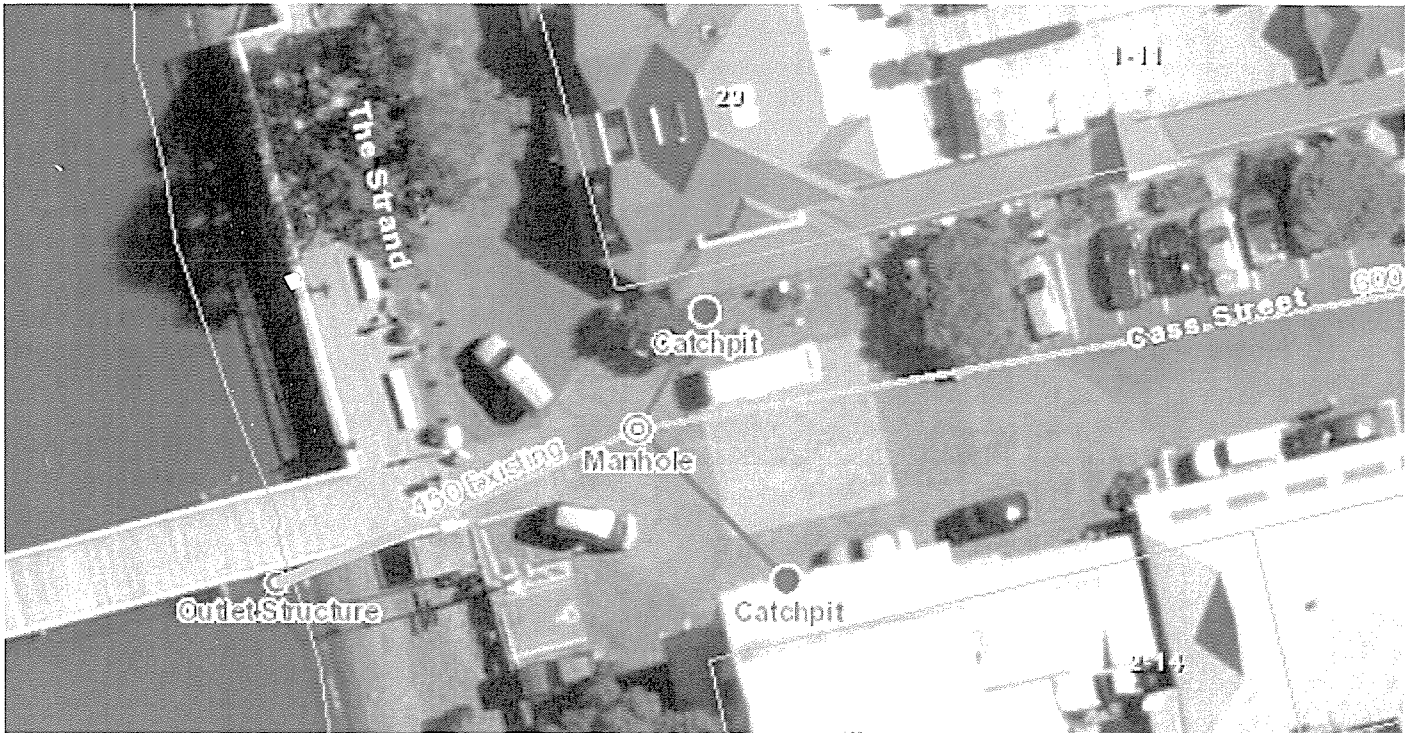
From:
Sent: Wednesday, 18 October 2017 11:48 a.m.
To:
Cc:
Subject: RE: Russell Wharf Sewer Connection
Attachments: Russell Wharf Sewer Connection

Hi

The team have had the idea of placing the sewer line over the top of the existing stormwater line. Then we don't have to worry about Historic places or any archaeological discoveries.

Seems like a good time to do any maintenance to the stormwater line while we are out there- do you intend to do any works here- (could save FNDC money if FNHL are already paying for excavation

Thanks



Cadet - Engineering

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

[Website](#) | [Facebook](#) | [LinkedIn](#) | [Careers](#)

From:
Sent: Tuesday, 10 October 2017 2:52 p.m.
To:
Subject: RE: Russell Wharf Sewer Connection

Hi

No worries will lodge it and once you have excepted the quote will invoice for the application fee then.

Thanks



Consents Technician

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

[Website](#) | [Facebook](#) | [LinkedIn](#) | [Careers](#)

From: ,
Sent: Tuesday, 10 October 2017 2:49 p.m.
To:
Subject: Russell Wharf Sewer Connection
Importance: High

Hi

I've got a tricky wastewater connection application for you.
FNHL are going to rebuild the Russell Wharf building (currently the information centre) early next year.
As part of this, we will require a new sewer connection from the main line along York street, down Cass street to The Strand, where our drain layer will install the private line down the wharf.

From the calculations we have done, this will require about 75 metres of directional drilling under Cass Street, and **installation of a new manhole** at the Cass/York Street main line.
It looks like it's going to be an expensive one.

The works are planned for 2018 after the busy summer period, but seeing as this is such a tricky one, we would like to get the methodology and price confirmed as soon as possible.

Is it ok to pay the application fee once we accept the quote?

Thanks ☺



Cadet - Engineering

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

[Website](#) | [Facebook](#) | [LinkedIn](#) | [Careers](#)

Erica Cooney

From:
Sent: Thursday, 26 October 2017 2:45 p.m.
To:
Cc:
Subject: RE: Russell Wastewater Capacity

as inserted

[FNDC logo]<<http://www.fndc.govt.nz/>>

Assets Manager - 3 Waters

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

Website<<http://www.fndc.govt.nz/>> | Facebook<<http://www.facebook.com/FarNorthDistrictCouncil>> | LinkedIn
<<http://www.linkedin.com/company/far-north-district-council>> | Careers<<http://fndc.govt.applyfirst.net/>>

From:
Sent: Thursday, 26 October 2017 11:55 a.m.
To:
Cc:
Subject: FW: Russell Wastewater Capacity

Hi Guys,

Apologies, it's me again 😊.

I am trying to get on top of the curly issues today so I can get back to the RC applications. Can you please review the draft response to FNHL below and comment. The bullet points are based on comments in the second attachment. Not sure if we should include the last one about local politics though..... Thoughts?

"Hi

A few points to consider for discussion:

- As per attached emails, the proposal to install the sewer line over the existing stormwater line is not acceptable. The obvious risk is sewerage getting into the stormwater system and discharging to sea in the event of pipe failure.
- Capacity of the wastewater system. Calculated flow volumes for the café are required for assessment. This should be quite low, but confirmation is required
- Rateable area. Being over the water, the development is outside the FNDC rateable area. Therefore a special trade waste/payment agreement would have to be agreed to ensure FNHL pay for the services they receive
- Area of benefit. This is outside the area of benefit and a formal application and approval would need needed before connection can be provided. This may include consultation with the community
- Asset ownership. FNHL would have to install at their cost a line to the public sewer. The section on land would transfer to FNDC once installed. The line on the wharf would remain private.
- Local politics. There could be a challenge from some locals in allowing this to connect, because it is outside the area of benefit. Any process followed would need to be robust."

Cheers

[FNDC logo]<<http://www.fndc.govt.nz/>>

Development Engineer

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

Website<<http://www.fndc.govt.nz/>> | Facebook<<http://www.facebook.com/FarNorthDistrictCouncil>> | LinkedIn
<<http://www.linkedin.com/company/far-north-district-council>> | Careers<<http://fndc.govt.applyfirst.net/>>

From:
Sent: wednesday, 18 October 2017 11:51 a.m.
To:
Cc: L
Subject: RE: Russell Wastewater Capacity

Hi

Please see attached

Thanks

[FNDC logo]<<http://www.fndc.govt.nz/>>

Cadet - Engineering

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

Website<<http://www.fndc.govt.nz/>> | Facebook<<http://www.facebook.com/FarNorthDistrictCouncil>> | LinkedIn
<<http://www.linkedin.com/company/far-north-district-council>> | Careers<<http://fndc.govt.applyfirst.net/>>

From:
Sent: Wednesday, 18 October 2017 11:49 a.m.
To:
Cc:
Subject: FW: Russell Wastewater Capacity

Hi
Have you got a plan/location to look at?
.....any issues with the proposal if the café is within the AoB?

Cheers

[FNDC logo]<<http://www.fndc.govt.nz/>>

Development Engineer

Website<<http://www.fndc.govt.nz>> | Facebook<<http://www.facebook.com/FarNorthDistrictCouncil>> | LinkedIn
<<http://www.linkedin.com/company/far-north-district-council>> | Careers<<http://fndc.govt.applyfirst.net/>>

From:
Sent: Wednesday, 18 October 2017 11:04 a.m.
To:
Subject: Russell Wastewater Capacity

Hi

Can you please give me an indication as to the available capacity of the Russell Sewerage scheme?
FNHL are planning to build a small café, and we just need to confirm the details as part of the application to connect that I lodged with

Thanks

[FNDC logo]<<http://www.fndc.govt.nz/>>

Cadet - Engineering

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

Website<<http://www.fndc.govt.nz>> | Facebook<<http://www.facebook.com/FarNorthDistrictCouncil>> | LinkedIn
<<http://www.linkedin.com/company/far-north-district-council>> | Careers<<http://fndc.govt.applyfirst.net/>>

Erica Cooney

From:
Sent: Thursday, 2 November 2017 12:53 p.m.
To:
Subject: Russell Wharf Plans
Attachments: Russell Wharf Kiosk (19-10-17).pdf

Hi

Attached are the plans for the Russell Wharf to provide you with some more information regarding the sewer connection.

Kind regards,

[FNDC logo]<<http://www.fndc.govt.nz/>>

Cadet - Engineering

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

Website<<http://www.fndc.govt.nz/>> | Facebook<<http://www.facebook.com/FarNorthDistrictCouncil>> | LinkedIn
<<http://www.linkedin.com/company/far-north-district-council>> | Careers<<http://fndc.govt.applyfirst.net/>>

Erica Cooney

From:
Sent: Tuesday, 7 November 2017 9:47 a.m.
To:
Cc:
Subject: RE: Russell Wharf Plans

Hi
Thank you for the response.
Please see answers to your queries in green in the email below.

Cheers
Sujeet



Development Engineer
Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

[Website](#) | [Facebook](#) | [LinkedIn](#) | [Careers](#)



Proud Finalists of the
2017 New Zealand Spatial Excellence Awards

From:
Sent: Tuesday, 7 November 2017 9:14 a.m.
To:
Cc:
Subject: RE: Russell Wharf Plans

Hi
Response below- please let me know if you require any further information

Thanks



Cadet - Engineering
Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

[Website](#) | [Facebook](#) | [LinkedIn](#) | [Careers](#)



Proud Finalists of the
2017 New Zealand Spatial Excellence Awards

From:
Sent: Thursday, 2 November 2017 1:36 p.m.
To:
Cc:
Subject: FW: Russell Wharf Plans

Hi
THANKS for the additional info.

A few points to consider for discussion:

- As per attached emails, the proposal to install the sewer line over the existing stormwater line isn't good engineering practice. The risk is sewerage getting into the stormwater system and discharging to sea in the event of pipe failure.

FNDC/ Broadspectrum to decide best pipeline route. FNHL have already advised Heritage NZ of our plans, and their agreement is being secured before works proceed in April 2018.

FNHL require a general route for the pipe location for HNZ approval- does BSL decide this or FNDC? FNHL/BSL are to provide a route/design for Council approval

- Capacity of the wastewater system. Calculated flow volumes for the café are required for assessment. These should be quite low, but confirmation is required

No net increase to the wastewater flows are expected. There are a total of 4 less publicly available toilets in town since the Wharf Restaurant closed and the Waterfront Cafe which will eventually become a private residence.

Therefore installing 2 new toilets will not increase Russell's total wastewater volume. Use of these toilets will likely also reduce demand for Council's public toilets, which are further away from the main centre.

Otherwise, what calculation do you typically use to estimate public toilet wastewater discharge? Not required – the comments above are satisfactory

- Rateable area. Being over the water, the development is outside the FNDC rateable area. Therefore a special trade waste/payment agreement would have to be agreed to ensure FNHL pay for the services they receive Agreed. Proposed for agreement to have words to the effect of charging an amount equal to the FNDC wastewater connected rate as specified in the LTP for Russell commercial sites on land. That way FNHL pay the full amount, at the same rate as everyone else in town. To be agreed with FNDC 3 Waters Asset Manager

- Area of benefit. This is outside the area of benefit and a formal application and approval would need needed before connection can be provided. This may include consultation with the community

Community consultation undertaken as part of the NRC consent process- please see attached An application for connection will need to be submitted to the Consents Technician at FNDC (Rachel Kake) for connection to WW once the new building is completed

- Asset ownership. FNHL would have to install at their cost a line to the public sewer. The section on land would transfer to FNDC once installed. The line on the wharf would remain private.

Agreed- standard process. FNHL pay for the installation of line in road reserve, and FNDC maintain that portion.

Cheers



Development Engineer

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

[Website](#) | [Facebook](#) | [LinkedIn](#) | [Careers](#)

From:

Sent: Thursday, 2 November 2017 12:53 p.m.

To:

Subject: Russell Wharf Plans

Hi

Attached are the plans for the Russell Wharf to provide you with some more information regarding the sewer connection.

Kind regards,



Cadet - Engineering

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

[Website](#) | [Facebook](#) | [LinkedIn](#) | [Careers](#)

Erica Cooney

From:
Sent: Tuesday, 10 October 2017 2:49 p.m.
To:
Subject: Russell Wharf Sewer Connection
Attachments: 2620_001[5186].pdf; WW Connection Form.pdf

Importance: High

Hi

I've got a tricky wastewater connection application for you.
FNHL are going to rebuild the Russell Wharf building (currently the information centre) early next year.
As part of this, we will require a new sewer connection from the main line along York street, down Cass street to The Strand, where our drain layer will install the private line down the wharf.

From the calculations we have done, this will require about 75 metres of directional drilling under Cass Street, and **installation of a new manhole** at the Cass/York Street main line.
It looks like it's going to be an expensive one.

The works are planned for 2018 after the busy summer period, but seeing as this is such a tricky one, we would like to get the methodology and price confirmed as soon as possible.

Is it ok to pay the application fee once we accept the quote?

Thanks ☺



Cadet - Engineering

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

[Website](#) | [Facebook](#) | [LinkedIn](#) | [Careers](#)



Commercial Water and Wastewater Connection Guidance Notes

Note this application form is for commercial properties only. A separate application form is required for residential properties.

Who can connect?

Council has potable water supplies in all or parts of the following communities: Kaikohe/Ngawha, Okaihau, Kerikeri/Waipapa, Kaitaia, Opononi/Omapere, Kawakawa/Moerewa, Rawene and Paihia/Waitangi/Opua.

Council has reticulated wastewater networks in all or parts of Ahipara, Mangonui/Coopers Beach/Taipa, Hihi, Kaeo, Kaikohe, Kaitaia, Kawakawa, Kerikeri, Opononi/Omapere, Paihia/Waitangi/Opua, Rawene, Rangiputa, Russell, Whangaroa and Whatuwhiwhi/ Tokerau Beach.

Properties that can connect are those identified as being within the "Area of Benefit"- that is, those properties that the scheme has been designed to cater for. Plans showing the "Areas of Benefit" are available from Council.

Council does not service properties outside the "Areas of Benefit" with either reticulated water or reticulated wastewater services. Confirmation of whether your property is within an "Area of Benefit" can be determined by contacting Council.

Supply Limitations

Council's networks have limited capacity. Applications for large water takes or large wastewater discharges require specific approval. Applicants must state their expected water demands and waste discharge rates.

Trade Waste

Wastewater discharges from commercial premises are classified as trade waste. Depending on what is going to be discharged, special trade waste requirements may be imposed. Applicants must state the volume of their proposed discharge and what the discharge will contain within the application for a connection.

Service connection application details

It is important that all required details are supplied on the application form, even if 'No Services Required' has been ticked. Once the application and site plan have been reviewed by Council it will be easier to contact the applicant or property owner if all the correct information has been supplied.

Who can install new service connections?

For health and safety reasons, all water and wastewater service connections to Council mains must be installed by a Council approved contractor. Currently the only approved contractor is Broadspectrum Ltd.

How long will a new connection take?

If a quote is required this will normally be processed within 10 working days and provided in writing to the applicant (if you qualify for a standard connection).

Physical works for a standard connection are usually carried out by our contractors within 10 working days of council receiving full payment of the invoice (for standard connections)

Site Plans

As well as the application form, an A4 copy of a detailed site and services plan/s showing all relevant information is required for Council to process the application. The plans shall clearly show: property boundaries, location of existing services, location of proposed connection, location of obstructions and size and type of materials. FNDC can provide plans upon request. Contact us on 09 401 5200 or 0800 920 029 if you require any help.

Backflow

All water connections to properties are required to have boundary backflow protection installed. The standard of backflow protection is determined on a case by case basis and reflects the potential risk to the Council water supply from activities within the property.

Fees and Charges

All fees will be invoiced to the person selected on section 5 of the application form. All fees must be paid prior to our contractors carrying out the works. Fees and Charges information can be viewed on Page 5.

For a full list of Council's Schedule of fees and charges please visit www.fndc.govt.nz/services/fees-and-charges-index

Commercial Water and Wastewater Connection Application Form



1. Please complete all the details required on this page and sign the services declaration below.
2. Provide a copy of the site and drainage plan (as-built)
3. Read information on the following pages in order to establish if you are required to make an application for water and wastewater. Then:
 - If an application for connection is required:
 - Tick the box(es) below indicating the services you require and complete the service connection page

Are you applying for services as part of a:

Building consent BC# _____ Resource consent RC# _____ Other _____

1. Services applied for

Water Wastewater (Sewerage)

2. Location of work / building

Physical Address

Town Valuation Number

Lot No. DP No. CT No.

3. Property owners details

Name

Postal Address Post Code

Phone & Mobile Email

4. Applicant's details (if different from the property owner)

Company Name Contact Person

Postal Address Post Code

Phone & Mobile Email

5. Application fees to be paid By: (tick one) Owner Applicant

Office Use Only	
Date Lodged	<input type="text" value=" / /"/>
Lodged By	<input type="text"/>
Application #	<input type="text" value="WTRRET /"/>
Quote RFS	<input type="text"/>
PID #	<input type="text"/>
Connect RFS	<input type="text"/>

Commercial Water and Wastewater Connection



If you tick yes to any of the requirements on the following pages:

1. Complete all of the information required in each section
2. Tick the **services applied for** box(es) on the front page of this application and ensure that all the relevant information is completed.

Water connection

I propose to:

- Install a new water meter connection

Connection size mm Eg: 20, 25, 50, 100, 150 or 200mm

Meter size mm Eg: 20, 25, 50, 100, 150 or 200mm

Please supply commercial / industrial water consumption estimation:

Typical consumption (litres/sec) Peak flow (litres/sec)

I propose to:

- Connect to an existing water meter Water Meter Serial No: _____
- Relocate an existing water meter Water Meter Serial No: _____
- Upgrade an existing water meter _____ mm Water Meter Serial No: _____



Have you attached a site plan showing the required location of water meter? This is required for Council to process the application? If you need copies of As-Builts, call us on 0800 920 029 and our staff will assist you.

Backflow prevention information

Do you require a quote for a backflow prevention device to be installed? Yes No

If you have ticked **NO**, please supply supporting information of backflow prevention device being installed with your application

Type / model of device



All water connections to properties are required to have boundary backflow protection installed. Have you arranged for the required backflow prevention to be installed? Any questions, call us on 0800 920 029 to discuss with our IAM Development Engineer.



Commercial Water and Wastewater Connection

1. Complete all of the information required in each section.
2. Tick the **Services applied for** box(es) on the front page of this application and ensure that all the relevant information is completed.

Will your land use include any of the following?

- | | |
|---|---|
| <input type="checkbox"/> Commercial drink dispensers | <input type="checkbox"/> Fire sprinkler system - (this will require a fire flow test completed by an approved fire protection agent) |
| <input type="checkbox"/> Swimming pool / fountain | |
| <input type="checkbox"/> Secondary water supply | |
| <input type="checkbox"/> Veterinary / animal water use | <input type="checkbox"/> Any other hazard classified in <u>G12/As1 of the NZ Building Code</u> (Please specify) |
| <input type="checkbox"/> Sluice sink / bed pan washers | _____ |
| <input type="checkbox"/> Storage tanks | |
| <input type="checkbox"/> Chemical use | <input type="checkbox"/> Other _____ |
| <input type="checkbox"/> Mortuary activities | |
| <input type="checkbox"/> Dental equipment | |
| <input type="checkbox"/> Beauty salon or hairdressing sinks | |
| <input type="checkbox"/> Irrigation system | |
| <input type="checkbox"/> Car / factory washing | |
| <input type="checkbox"/> Pesticides / pest control | |
| <input type="checkbox"/> Laboratory | |

Wastewater connection

I Propose to:

+ install new manhole

- Install a new wastewater connection to main required
- Install a new wastewater connection to manhole required
- Connect to an already installed wastewater connection



Have you lodged a building consent for sewerage drainage work? We cannot process your application without one. Give our building consent department a call on 0800 920 029 to discuss.

Trade waste information

Please supply trade waste and non-domestic constituents concentrations:

Expected discharge m3/day

Peak Flow litres/sec

Subdivisions, Pressure Testing, Inspections and Approvals

- Plans and specifications of all works must be approved by Council before any physical works are undertaken.
- All pipes associated with subdivisions must undergo pressure testing and be inspected by FNDC, and all water mains must be sterilised prior to being connected to Council's network.
- Connection works can only be undertaken by contractors who are approved by Council. To be approved, contractors must have the appropriate experience, the necessary health and safety systems, the appropriate insurances and all connection works must work in conjunction with Council's network maintenance contractors.

Commercial Water and Wastewater Connection



Registered drain layer's details

Company Name	<input type="text" value="TO BE CONFIRMED ONCE"/>	Contact Person	<input type="text"/>
Postal Address	<input type="text" value="BC lodged."/>	Post Code	<input type="text"/>
Phone & Mobile	<input type="text"/>	Email	<input type="text"/>
Registration No	<input type="text"/>	Expiry Date	<input type="text"/>

If your property has an existing sewerage connection and you know its location, your drainlayer can lay the pipe from the dwelling/ building to that sewerage connection. You must have a building consent to do this work and an inspection from a building inspector must be undertaken prior to the trench being backfilled. If the location of the sewerage connection is unknown, please contact us and request a copy of the as-built plans.

Privacy

The information supplied in this application form will be held and used by the staff of Far North District Council. The information will not be disclosed by Far North District Council unless legally required under the Local Government Official Information and Meetings Act 1987 or for one of the purposes in connection with its collection. The information supplied will be used for: assessing and processing this application and for administration purposes, updating Far North District Council records to ensure all records are accurate, providing Far North District Council with statistical information to assist policy development. You have the right to request access to an correction of information collected.

Declaration

1. I am the owner of the property OR I am authorised to make this declaration by the owner (attach written authority from property owner)
2. I acknowledge that this application is subject to, and I agree to comply with, the conditions of the Far North District Council's Water Supply and Wastewater Drainage Bylaws 2009 ("the Bylaw")
3. I shall notify the Far North District Council in writing of any change of use of the premises and I understand that failure to comply with this requirement is an offence under Section 114 of the Building Act 2004 and is subject to a fine of up to \$5,000.
4. All information provided on this form is true and correct.

Name	<input type="text" value="Aimee Page"/>		
Signature	<input type="text" value="Aimee Page"/>	Date	<input type="text" value="10.10.2017"/>

Fees and Charges



Note: A non-refundable administration application fee of \$40.00 for each service is payable upon lodgment of an application. All service connection fees and any applicable water and / or wastewater development contributions must be paid in full prior to any connections being made.

Activity / Service	Fee / Charge
Administration fee for a water connection	\$40.00
Administration fee for a wastewater connection	\$40.00
Standard 20mm water meter connection in footpath within 5mtrs of main	\$1,285.45
Standard 20mm water meter connection in berm within 5mtrs of main	\$1,014.65
All new connections including meter and meter box	Quote to be provided
Water meter installation with backflow	Quote to be provided
New wastewater connection provided by Council's contractor up to 150mm main (includes connection to main and 1m of pipe from Council main)	Quote to be provided
New wastewater connection provided by Council's contractor to mains greater than 150mm, or connection lengths greater than 1 metre, or where a manhole or chamber is required.	Quote to be provided
New connection to a pressure wastewater network provided by Council's Contractor	Quote to be provided
Upgrade or modify existing connection	Quote to be provided
Relocation of existing water meter	Quote to be provided
Building consent for connection to wastewater reticulation	See Fees & Charges

* Excludes charges included with rates.

For a full list of Council's Schedule of fees and charges please visit www.fndc.govt.nz/services/fees-and-charges-index

How to submit your application

Post your completed application to:

Far North District Council
 Attention: Infrastructure & Asset Management Support Team
 Memorial Avenue
 Private Bag 752
 KAIKOHE 0440

Email to: ask.us@fndc.govt.nz

Drop your application into one of our centres:

Kaikohe Service Centre, 5 Memorial Ave, Kaikohe
 Kerikeri Service Centre, John Bulter Centre, 60 Kerikeri Rd, Kerikeri
 Kawakawa Service Centre, Gillies Ave, Kawakawa
 Kaitaia Service Centre, Te Ahu, South Rd, Kaitaia
 Kaeo Service Centre, Leigh St, Kaeo
 Hokianga i-Site, 29-31 SH12, Opononi
 Paihia i-Site, The Wharf, Marsden Road, Paihia
 Rawene Service Centre, Parnell St, Rawene

Russell Kiosk Reticulation Map

Date Printed: 23-February-2017



This map has been reproduced from the Far North District Council (FNDC) databases. Copyright and the information contained in it belongs to FNDC. No person may reproduce this map without the express written permission from FNDC. This is updated from time to time but may not be accurate. No reliance on the information contained on this map is permitted. For the avoidance of doubt, this map is not a contract. It is provided for information only. It is not intended to be used as a basis for any contract. Contractors are to verify the exact location of all Council services on site, before work commences. Contractors are liable for any damage they may cause to Council services, including any services not identified on this plan. If you find information on this map that may not be accurate, please advise FNDC.

SCALE 1: 1,000



Meters

Projection: NZGD_2000_Nzw_Zealand_Transverse_Mercator



Carport mgmt

$$\text{Total vol.} = 14.4 \text{ m}^3 \left(\frac{1}{25 \text{ m}^2 \text{ CPA}} \right) = 0.56 \text{ m}^3$$

$$\text{Rasthouse} = 31.7 \text{ m}^3 \left(\frac{1}{10 \text{ m}^2 \text{ CPA} + \frac{1}{5 \text{ m}^2 \text{ out door}} \right) = 3.17 \text{ m}^3$$

$$\text{out door} = 0 \text{ m}^3$$

$$\underline{3.73 \text{ m}^3} \approx \text{carport mgmt.}$$

Erica Cooney

From:
Sent: Tuesday, 7 November 2017 9:14 a.m.
To:
Cc:
Subject: RE: Russell Wharf Plans
Attachments: Combined Letters of Support.pdf

Hi

Response below- please let me know if you require any further information

Thanks

[FNDC logo]<<http://www.fndc.govt.nz/>>

Cadet - Engineering

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

Website<<http://www.fndc.govt.nz/>> | Facebook<<http://www.facebook.com/FarNorthDistrictCouncil>> | LinkedIn
<<http://www.linkedin.com/company/far-north-district-council>> | Careers<<http://fndc.govt.applyfirst.net/>>

[F]

From:
Sent: Thursday, 2 November 2017 1:36 p.m.
To:
Cc:
Subject: FW: Russell Wharf Plans

Hi
Thanks for the additional info.

A few points to consider for discussion:

- As per attached emails, the proposal to install the sewer line over the existing stormwater line isn't good engineering practice. The risk is sewerage getting into the stormwater system and discharging to sea in the event of pipe failure. FNDC/ Broadspectrum to decide best pipeline route. FNHL have already advised Hertiage NZ of our plans, and their agreement is being secured before works proceed in April 2018. FNHL require a general route for the pipe location for HNZ approval- does BSL decide this or FNDC?

- Capacity of the wastewater system. Calculated flow volumes for the café are required for assessment. These should be quite low, but confirmation is required
No net increase to the wastewater flows are expected. There are a total of 4 less publicly available toilets in town since the Wharf Restaurant closed and the Waterfront Cafe which will eventually become a private residence.

Therefore installing 2 new toilets will not increase Russell's total wastewater volume. Use of these toilets will likely also reduce demand for Council's public toilets, which are further away from the main centre. Otherwise, what calculation do you typically use to estimate public toilet wastewater discharge?

- Rateable area. Being over the water, the development is outside the FNDC rateable area. Therefore a special trade waste/payment agreement would have to be agreed to ensure FNHL pay for the services they receive

Agreed. Proposed for agreement to have words to the effect of charging an amount equal to the FNDC wastewater connected rate as specified in the LTP for Russell commercial sites on land. That way FNHL pay the full amount, at the same rate as everyone else in town.

- Area of benefit. This is outside the area of benefit and a formal application and approval would need needed before connection can be provided. This may include consultation with the community
Community consultation undertaken as part of the NRC consent process- please see attached

- Asset ownership. FNHL would have to install at their cost a line to the public sewer. The section on land would transfer to FNDC once installed. The line on the wharf would remain private.
Agreed- standard process. FNHL pay for the installation of line in road reserve, and FNDC maintain that portion.

Cheers

[FNDC logo]<<http://www.fndc.govt.nz/>>

Development Engineer

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029

Website<<http://www.fndc.govt.nz/>> | Facebook<<http://www.facebook.com/FarNorthDistrictCouncil>> | LinkedIn
<<http://www.linkedin.com/company/far-north-district-council>> | Careers<<http://fndc.govt.applyfirst.net/>>

From:
Sent: Thursday, 2 November 2017 12:53 p.m.
To:
Subject: Russell Wharf Plans

Hi

Attached are the plans for the Russell Wharf to provide you with some more information regarding the sewer connection.

Kind regards,

[FNDC logo]<<http://www.fndc.govt.nz/>>

Cadet - Engineering

Infrastructure & Asset Management, Far North District Council | 24-hour Contact Centre 0800 920 029



Far North
District Council

Private Bag 752, Moutoaia Ave
Kaikohe 0440, New Zealand
Freephone: 0800 920 029
Phone: (09) 401 5200
Fax: (09) 401 2137
Email: ask.us@fndc.govt.nz
Website: www.fndc.govt.nz

Te Kaunihara o Tai Tokerau Ki Te Raki

5 July 2017

To Whom It May Concern,

Re: Proposal to Extend and Renovate the Kiosk on Russell Wharf

I am writing in support of the proposal to extend and renovate the existing kiosk on Russell Wharf. I will address the proposal in two parts – the building and the business:

The building

The proposed building size and form is in keeping with the adjacent Heritage Precinct and although slightly larger in footprint than the current building it is in appropriate scale for its location. The proposal to add public toilets to the building will provide a much needed asset to the wharf as the nearest public facilities are located some distance away behind the Town Hall. These toilets will, however, need to be managed carefully and a 24 hour opening is not recommended.

The business

I understand the current tenant proposes to continue running an Information Site from this location, with the addition of a small licenced cafeteria area complementing that business. This will enhance the operation while providing a modest scale of support to both locals and visitors waiting for ferries and other departures (e.g. cruise ship connections). Having on-site toilets provides the ability to provide this service. Because of its modest scale and location I do not perceive this to be competing with other licenced premises as the customers will be in short term transit.

Bay of Islands-Whangaroa Community Board



Russell Ratepayers & Citizens Association Inc.

PO Box 57
Russell 0242
New Zealand
Ph: 064 9 403 7116

27 June, 2017

Dear

Our Association has viewed your plans for the extension to your wharf Kiosk and are in support of these extensions, as well as your intent to enhance your business by including a café within this enlarged premises.

We wish you luck with your plans, as we believe they will enhance our visitors experience in Russell.

Regards,

Chair RRCA



R. TUCKER THOMPSON YOUTH DEVELOPMENT
Confidence ★ Leadership ★ Teamwork

9 July 2017

To whom it may concern

PROPOSED EXTENSIONS TO RUSSELL INFORMATION CENTRE

The R. Tucker Thompson is a long established user of Russell Wharf and we operate our tourism charters during summer from the pontoon.

As an independent tourism operator, we are highly dependent of the Russell Information Centre for bookings and they account for approximately 8% of our business. Their independence in terms of advice to the customer about their activity options is important both for the customers and for our organisation.

In the past 20 years there have been several occasions where the information centre on the wharf has been purchased by tourism operators. This has had a significant negative impact on our organisation, as customers have been steered towards products operated by the information centre owner. For this reason, we support plans that enable the owner of the business to diversify their revenue streams to make them less reliant on booking commission and remain independent.

We have sighted the new plans and note that they are in keeping with the overall heritage amenity of the wharf. We note that the footprint does seem to be significantly increased and would wish to ensure that there has been appropriate consideration for people management during peak traffic flow, e.g. cruise ship arrivals and events.

In principle, we support plans for a larger building for the Russell Information Centre and we have no objection to its increased use as a café.

EXECUTIVE TRUSTEE

July 11 2017

Owner/Operator

Russell Booking and Information Centre

Russell Wharf

Dear

This letter serves to advise that the Russell Wharf and Waterfront Trust has no objection to your resource consent application for modification to the site on the Russell wharf.

Yours faithfully

RUSSELL WHARF AND WATERFRONT TRUST

RUSSELL



Russell Business Association

10th July, 2017

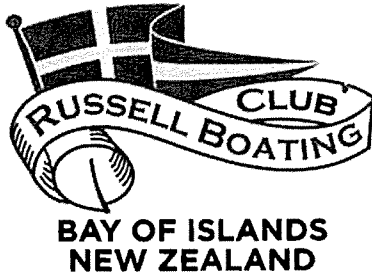
To whom it may concern,

The Russell Business Association acknowledges receipt from Russell Booking and Information Centre of the proposed extension plans to the building situated on the Russell Wharf.

In the discussion at our last executive meeting it was agreed that the RBA supports in principle the proposed extension of the Russell Booking and Information Centre as the RBA supports the economic growth and development of Russell.

Signed

Chairperson



Matauwahi Bay

RUSSELL 0242

13 July 2017

Owner/Operator
Russell Booking and Information
The Wharf, Russell

Re: Proposed Russell Wharf Kiosk Upgrade

Dear

Thank you for discussing with me the proposed upgrade plans for the Kiosk on the Russell wharf, including the proposed extension and additional activity of a café. As you are aware, the Russell Boating Club has been using the existing building on the wharf to conduct the starts and finishes of our Club sailing races for over 30 years. We believe these racing activities conducted by the Russell Boating Club are a valuable longstanding part of the Russell community and consistent with its local character. Also, as we discussed, the Club's race activities present an opportunity to contribute to the tourism value of Russell and the Russell Wharf by providing an exciting spectator activity.

The Club appreciates your continued willingness to accommodate our use of the wharf building for our race management activities and we are excited about the potential for the expanded opportunity to promote our sailing races. We believe the proposed upgrade plans represent an improved usage of this wharf space, both with respect to our race management, and with respect to enhanced opportunity for spectators to view race activities. As such, we are pleased to support these plans.

Sincerely

Commodore

From:
Sent: Thursday, 20 July 2017 12:00 p.m.
To:
Cc:
Subject: FW: Russell Wharf - Kiosk Upgrade
Attachments: Russel Wharf Kiosk (20-06-17).pdf

Hi thank you for consulting with us on the proposal, this is appreciated.

Our comments would be:

Ensuring there is as much circulation space around and between the verandah posts of the kiosk as possible for pedestrians.

While the kiosk is more residential in nature than a utilitarian structure, we have no particular concerns given the backdrop and this may be dictated by the kiosk's ultimate use as an office etc.

Our recommendation is that all exterior joinery is timber given the variations in the sheens of aluminium products etc. and this would better reflect the timber materials of Russell.

Also the colour palette should be compatible with that specified for a Heritage Precinct in the FNDPlan.

Thank you,
Regards

From:
Sent: Thursday, 13 July 2017 2:28 p.m.
To:
Cc:
Subject: FW: Russell Wharf - Kiosk Upgrade

Hi

Do you have any comments on this proposal/

Kind regards

Area Manager, Northland | Heritage New Zealand Pouhere Taonga

Tairangahia a tua whakarere; Tatakihia nga reanga o amuri ake nei- Honouring the past; Inspiring the future

This communication may be a privileged communication. If you are not the intended recipient, then you are not authorised to retain, copy or distribute it. Please notify the sender and delete the message in its entirety.



Bringing back birdsong to the islands, note by note

26th June 2017

Russell Booking & Information Centre
Russell Wharf

Dear

Thank you for correspondence dated 22nd June regarding the proposed plans for the Russell Booking & Information Centre upgrade.

I have carefully reviewed the plans, and I am pleased to provide the Russell Booking & Information Centre a letter of support for the proposed upgrade to the Kiosk on the wharf, and are in support of the proposed extension and café activity.

I envisage the proposed upgrades will have beneficial outcomes for Russell and tourism in the wider Bay of Islands area. Consequently, I look forward to the ongoing outcomes that Russell Booking & Information Centre provides in promoting Project Island Song, and can only envisage this enhancing with the proposed changes.

Yours sincerely

Project Manager
Guardians of the Bay of Islands Inc.

From:
Sent: Friday, 23 June 2017 11:42 a.m.
To:
Subject:

See below

Kind regards

Russell Booking and Information
The Wharf
Russell

www.russellinfo.co.nz



**Russell Booking &
Information Centre**



**0800 633 255
+64 (09) 403 8020**

Begin forwarded message:

From:
Subject: RE: Plans for Russell Info
Date: 23 June 2017 10:47:20 am NZST
To:
Cc:

Hi

This looks awesome, well done, we definitely support!

Best of luck pushing it through from here and as said let us know if there is anything else we can do.

Cheers

Managing Director

From:
Sent: Friday, 23 June 2017 11:36 a.m.
To:
Subject: explore Support -

Hi

See Below

Begin forwarded message:

From:
Subject: Plans for Russell Info
Date: 23 June 2017 10:45:25 am NZST
To:
Cc:

Dear

I have just had the opportunity to review your plans for the proposed upgrade to the wharf kiosk, including an extension and addition of a café. I (and Explore) am in full support of this proposed development and congratulate you not only on your current support of local operators, but also the intention of providing additional entertainment facilities.

Should any further information or support be required in any other form than this email, please do not hesitate to contact me.

Kind regards

CEO

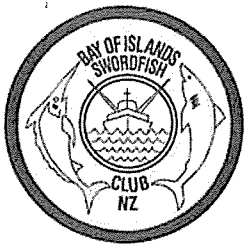


Explore Limited

www.exploregroup.co.nz



Unique Experiences In Amazing Places



BAY OF ISLANDS SWORDFISH CLUB INCORPORATED

Russell, New Zealand. Email:

Telephone:

11 July 2017

FAR NORTH HOLDINGS LTD
OPUA

INFORMATION CENTRE EXTENSION RUSSELL

To whom it may concern

The Bay of Islands Swordfish Club do not object to the extension of the Information Centre on Russell Wharf however we do have concern for the following:

1. That there is enough space for walking traffic to and from the ferry's.
2. That when a fish is being weighed at the BOISC weigh station that the Weigh Master be given authority to cordon off any area of the wharf around the weigh station to ensure the safety of lifting a fish, the anglers and boats, the weigh master and any of the general public.
3. That outdoor seating be placed in an unobstructed manner and never be placed on the weigh station side of the information centre.
4. That the plans shown to the BOISC are a true and accurate plan of the extension and it is not deviated from the dimensions shown in the plan.

The wharf is first and foremost built for the safe passage of people boarding and alighting boats, for fishermen and their boats and as a refuelling point for boats. It was never designed as a pier for cafes. Ultimately a pleasure pier should be built that can accommodate a café and a promenade that does not interfere with the purpose of a wharf.

The members and management of this club remain very sceptical after the application for the extension to Paihia Wharf was not adhered to and will be watching any progress at Russell wharf very closely.

We have discussed this proposal with _____ and _____ has assured us that _____ acknowledges and understands our concerns.

Kind regards

Club Manager
Bay of Islands Swordfish Club

CLUBHOUSES:

RUSSELL The Strand. Ph 09-403 7857 | PAIHIA Marsden Rd. Ph 09-402 7773

From:

Subject: Re: Plans for Russell Booking and information

Date: 28 June 2017 3:11:48 pm NZST

To:

Cc:

Hi

Thank you for sending the Russell Protection Society copies of your proposed plans and the additional information that was requested. I've now received back the comments from our Committee members.

First of all, it is important for us to acknowledge the important role that the existing Booking and Information Centre on the Wharf plays in supporting the tourism economy of Russell. In turn, our Society wishes to support the Centre and acknowledges that the environment has changed with the advent of online booking.

The comments of our Committee are as follows:

- There is concern about the rather constrained area of the existing wharf and the ability to expand the footprint of the Centre without compromising pedestrian movement during peak times.
- The existing sheltered seating around the outside of the Centre building is highly prized, especially during inclement weather, and it is unclear as to whether this would or could remain
- The need for a cafe on the Wharf in addition to the cafes along The Strand is questioned and it is suggested that it may be more appropriate to simply focus on selling coffee, which can often provide a good return on its own.
- A cafe would require ancillary services such a water and sewerage and possibly toilets in order to provide for proper safety and hygiene.
- The second floor redevelopment could serve to increase the impact of the building when viewed from both the water and the foreshore and the longer term need for this and the viability of a cafe in such a constrained space is questioned.

As mentioned earlier, our Society wishes to be supportive of your business and suggests that a clever redesign of the current building and layout may be more cost effective in reshaping the Centre to better address the changing nature and demands of booking services and the provision of information to tourists arriving by passenger ferry.

Happy to clarify or explain any of the comments made above.

Kind regards

Chairperson

Russell Protection Society

On 22 June 2017 at 13:12,

Hi

Further to our conversation earlier. Please find attached proposed plans for Russell Booking and information Centre. The proposed plans will hopefully take my business to the next level and help in sustaining the future of the booking and information centre, which I believe is an important asset to Russell, welcoming visitors to our beautiful town. The proposed changes will also improve the services to the users of Russell Wharf.

If anyone wishes to talk to me personally about the proposed changes please let me know and I will more than happy meet up when a time is convenient.

I am asking anyone who wishes to support my application to please email me a letter of support on an official letterhead, stating you have viewed the plans for the proposed upgrade to the Kiosk on the wharf, and are in full or partial support of the proposed extension and additional activity of a café.

See plans attached.

Please email me at your earliest convenience.

Many thanks

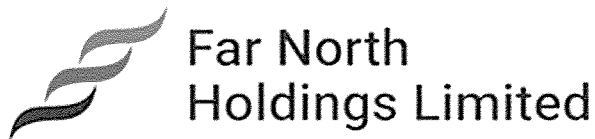
Owner/Operator

Russell Booking and Information

The Wharf

Russell





<https://www.fnhl.co.nz/current/>

Russell Wharf Development

Work on the \$1.281m Russell Wharf upgrade project, contracted to Bellingham Marine, will start on Friday 26 April 2019 and is expected to last until the end of August. The Provincial Growth Fund has contributed \$1.114m to this project.

Work will start after Easter and avoids interfering with the operation of the wharf during the peak tourism season. Far North Holdings has consulted with regular commercial users of the wharf and has agreed a schedule of works to ensure that the wharf remains operational during this period.

All elements of the wharf upgrade have been subject to extensive community consultation and Far North Holdings has incorporated changes that include some the feedback received.

The company has agreed to a request from Kororareka Marae to delay the construction of the proposed new wharf building until such time as the new entity that will represent the community in the joint management of the wharf has been established.

Kororareka Marae has concerns over toilets being incorporated in the new wharf building (a requirement of building consent) and about the sewerage pump-out station for non-commercial vessels that had previously been incorporated in plans for the upgrade of Russell Wharf. The marae has expressed cultural concerns around the issue of sewerage over water.

A 'hold' on work relating to these facilities will enable further discussion on these matters with the new joint wharf management entity that will represent the Russell community.

Other consented work programmed for the wharf, funded through the PGF (see image below), will start as planned on 26 April 2019 with the agreement of the community and the marae.

