

Appendix C – Extracts from the WHRS Act (2006)

Section 8 Interpretation

In this Act, unless the context otherwise requires,

leaky building means a dwellinghouse into which water has penetrated as a result of any aspect of the design, construction, or alteration of the dwellinghouse, or materials used in its construction or alteration

Section 13 Criteria for eligibility of claims for mediation and adjudication services

To be an eligible claim, a claim must, in the chief executive's opinion under section 48 (or in the chair's opinion under section 49), formed on the basis of an assessor's report, meet the criteria stated in -

- (a) section 14 (dwellinghouse claim); or
- (b) section 15 (claim in respect of single dwellinghouse in multi-unit complex that is not stand-alone complex); or
- (c) section 16 (multi-unit complex claim); or
- (d) section 17 (common areas only claim); or
- (e) section 18 (claim in respect of 1 or more dwellinghouses in stand-alone complex).

Section 14 Dwellinghouse claim

The criteria are that the claimant owns the dwellinghouse to which the claim relates; and

- (a) it was built (or alterations giving rise to the claim were made to it) before 1 January 2012 and within the period of 10 years immediately before the day on which the claim is brought; and
- (b) it is not part of a multi-unit complex; and
- (c) water has penetrated it because of some aspect of its design, construction, or alteration, or of materials used in its construction or alteration; and
- (d) the penetration of water has caused damage to it.

Section 16 Multi-unit complex claim

The criteria are that the claimant is the representative of the owners of the dwellinghouse in the multi-unit complex to which the claim relates; and

- (a) the complex was built (or alterations giving rise to the claim were made to it) before 1 January 2012 and within the period of 10 years immediately before the day on which the claim is brought; and
- (b) water has penetrated the complex because of some aspect of its design, alteration; construction, or alteration, or of materials used in its construction or alteration; and
- (c) The penetration of water has caused damage to the complex.

Section 17 Common areas only

The criteria are that the claimant is the representative of the owners of the dwellinghouse in the multi-unit complex to which the claim relates; and

- (a) a common area in the complex was built (or alterations giving rise to the claim were made to it) before 1 January 2012 and within the period of 10 years immediately before the day on which the claim is brought; and
- (b) water has penetrated the complex because of some aspect of its design, alteration; construction, or alteration, or of materials used in its construction or alteration; and
- (c) the penetration of water –
 - (i) has caused damage to the common area; but
 - (ii) has not caused damage to any dwellinghouse in the complex

Section 42 Full assessor's report

To be an eligible claim, a claim must, in the chief executive's opinion under section 48 (or in the chair's opinion under section 49), formed on the basis of an assessor's report, meet the criteria stated in -

- (a) section 14 (dwellinghouse claim); or
- (b) section 15 (claim in respect of single dwellinghouse in multi-unit complex that is not stand-alone complex); or
- (c) section 16 (multi-unit complex claim); or
- (d) section 17 (common areas only claim); or
- (e) section 18 (claim in respect of 1 or more dwellinghouses in stand-alone complex).

(1) A full assessor's report is a report stating -

- (a) the matters required by section 41(1); and
- (b) if, and only if, in the assessor's opinion, the claim to which it relates meets the eligibility criteria, the matters required by subsections (2) to (4).

(2) If the report states that the claim meets the criteria in section 14 or 15 or 18, the report must also state the assessor's view on -

- (a) why water penetrated the dwellinghouse concerned; and
- (b) the nature and extent of the damage caused by the water penetrating the dwellinghouse; and
- (c) the work needed to repair the damage; and
- (d) the work needed to make the dwellinghouse weathertight (both in relation to the deficiencies that enabled the damage to occur and in relation to any deficiencies that are likely in future to enable damage to be caused to the dwellinghouse by water penetrating it); and
- (e) the estimated cost of the work referred to in paragraphs (c) and (d); and
- (f) the persons who should be parties to the claim.

Section 44 Copy of assessor's report must be given to claimant

When an assessor's report is completed, the chief executive must give a copy to the claimant.

Section 45 Claimant may make submission on assessor's report stating that claim does not meet eligibility criteria

Within 20 working days after receiving the copy of an assessor's report stating that, in the assessor's opinion, the claim to which it relates does not meet the eligibility criteria, the claimant may make a submission on it to the chief executive so the chief executive can make his or her evaluation decision under section 48.

Section 48 Chief executive to evaluate assessor's reports

(1) The chief executive must evaluate every assessor's report (other than a full assessor's report made in respect of a claim that was held to meet the eligibility criteria when an eligibility assessor's report was evaluated), and decide whether the claim to which it relates meets the eligibility criteria.

(2) In evaluating the report, the chief executive must consider only the report itself and any submission made by the claimant under section 45.

(3) The chief executive must give the claimant written notice stating:

- (a) the chief executive's decision as to whether or not the claim meets the eligibility criteria; and
- (b) if the chief executive has decided that the claim does not meet those criteria, his or her reasons for that decision.

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Appendix D – Building Documentation

D 1.1 Copies of Title Search

6 pages



COMPUTER UNIT TITLE REGISTER
UNDER LAND TRANSFER ACT 1952



Search Copy

Identifier NA133A/719
Land Registration District North Auckland
Date Issued 30 November 2000

Price Reference
NA133A/1502

Supplementary Record Sheet
NA133A/723

Kind Suburb in Freehold
Legal Description Unit II and Annexes Unit I Depicted
Plan 204595

Proprietor
Harcus Hu

The above entries are subject to the reservations, restrictions, encumbrances, leases and interests noted herein and on the relevant unit plan and supplementary record sheet.
7349922.3 56/12/2000 10:46:00 AM New Zealand Land Information System Ltd at 9:42 am



**COMPUTER UNIT TITLE REGISTER
UNDER LAND TRANSFER ACT 1952**



Search Copy

Identifier **NA133A/720**
 Land Registration District **North Auckland**
 Date Issued **30 November 2010**

Prior Reference
 NA133C/592

Supplementary Record Sheet
 NA133A/720

Estate **Stratum in Feehold**
 Legal Description **Unit C and Accessory Unit 2 Deposited
 Plan 204595**

Proprietors
 SPH Rentals Limited

The above estate is subject to the reservations, restrictions, encumbrances, liens and interests noted below and on the relevant unit plan and supplementary record sheet
 660681.3 Mortgage to (now) Wespac New Zealand Limited - 7/10/2005 at 9:00 am

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Production ID: NA133A/720
 Client Reference: NA133A/720

Search Copy (Owner) (1/10/2011) 10 pm Page 1 of 1
 Register Only



**COMPUTER UNIT TITLE REGISTER
UNDER LAND TRANSFER ACT 1952**



Search Copy

Identifier: **NA133A/721**
 Land Registration District: **North Auckland**
 Date Issued: **30 November 2000**

Prior Reference:
 NA139D/502

Supplementary Record Sheet
 NA133A/721

Estate: **Strata in Freehold**
 Legal Description: **Unit D and Accessory Unit J Deposited
 Plan 214/502**

Proprietors:
Oxelar Ltd Investments Limited

The above estates are subject to the reservations, restrictions, encumbrances, leases and interests noted below and on
 the relevant unit plan and supplementary record sheet
 7315650.3 Mortgage to ANZ National Bank Limited 30.11.2000 at 2:52 pm

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Information Set: **NA133A**
 Client Reference: **NA133A/721**

Search Copy Created: **14/05/2001 2:47 pm** Page: **1 of 1**
 Register Only



**COMPUTER UNIT TITLE REGISTER
UNDER LAND TRANSFER ACT 1952**



Search Copy

Identifier: **NA133A/722**
 Land Registration District: **North Auckland**
 Date Issued: **30 November 2000**

Other References:
 NA133C/502

Supplementary Record Sheet:
 NA133A/722

Rebate: **System in Freehold**
 Legal Description: **Unit B and Accessory Unit 4 Deposited
 Plan 204995**

Proprietors:
 J. L. and X. S. S. L.

The above estates are subject to the reservations, restrictions, encumbrances, liens and interests noted below and on the relevant unit plans and supplementary record sheet
 7379143 Mortgage to ANZ National Bank Limited - 25.5.1000 at 2.01 per

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Identifier

NA133A/720



**SUPPLEMENTARY RECORD SHEET
UNDER UNIT TITLES ACT 1972**

Search Copy

Identifier **NA133A/723**
Land Registration District **North Auckland**
Date Issued **29 September 2000**
Plan Number **DP 284995**

Prior References
NA56A/92

Unit Titles Issued	NA133A/718	NA133A/720	NA133A/721
NA133A/718	NA133A/718	NA133A/720	NA133A/721
NA133A/722			

Interests:

Subject to Part IV A Conservation Act 1987

Subject to Section 13 Crown Minerals Act 1991

K598/00 Certificate does a pipeline for the passage of sewage pipes through and/or across the within land - 19-12-1956 at 1.44 pm

D541239.3 Change of rules of the Body Corporate - produced 22.9.2000 at 11.06 am and entered 29.9.2000 at 9.00 am

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Transaction ID: 05160124
EIS/ID Reference: 05160124/002

Search Copy Date: 11/03/01 1:18 pm, Page 2 of 3
Page(s) Only

Identifier

NA133A720



Drawn by: J. J. 104 651 54
Check Reference: 104 651 54

Search Copy Date: 190 087 1 19 pm Page 1 of 1
Register Only



AUCKLAND CITY

CODE COMPLIANCE CERTIFICATE

CONSENT No: AC/00/03482

PROJECT:

Use: Erect 4 new townhouses as 2 duplexes

Class: Unit/Flat/Townhouse

Intended Life: NOT LESS THAN 50 YEARS

PROJECT ADDRESS:

7 Tyburnia Avenue
Owairaka 1003
Lot 2 DP 56182 CT: 96 / 92


This is:

A final code compliance certificate issued in respect of all of the building work under the above consent.

The Certificate is issued subject to the following conditions:

11

Signed for and behalf of Council:


DAVID HUGHES

Date: 10/07/01



AUCKLAND CITY ENVIRONMENTS
Private Bag 92510, Walsley Street, Auckland 1, New Zealand
LDC Building, 15 Graham Street, Auckland Central
Telephone (09) 379 2020
www.auckland.govt.nz



AUCKLAND CITY

- Field Sheet: ASB
- Print Out: P&A
- Job No.: COND
- CBA:
- Date:

CITY ENVIRONMENTS

CODE COMPLIANCE CERTIFICATE MEMORANDUM

Job No.: Consent / Permit No.: AC99/3482

Site Address: 7 TYBURNIA AVE

OWAIRAKA

Final Inspection Date: 21 3 01

Record here any units worked on this job today

UNITS DUE ONLY (34)

DATE	UNITS	CODE	PASS/FAIL
<u>21 3 01</u>	<u>5</u>	<u>IC</u>	<u>Pass</u>
<u>27 3 01</u>		<u>OT</u>	<u>Pass</u>

INSPECTIONS OFFICER: Be Calder DATE: 21 3 01

TCS \$900

- A CODE COMPLIANCE CERTIFICATE
- AN INTERIM CODE COMPLIANCE CERTIFICATE (SEE ATTACHED DETAILS)

Units DUE

Can be issued subject to the charges/credits for the following:

- 12 NUMBER OF COMPLETED INSPECTIONS
- NUMBER OF COMPLIANCE SCHEDULE SYSTEMS

Mainstream Fixed Fee

- OR
- BUILDING PERMIT WORK COMPLETION

Costs do not exceed deposit.

Stewart Noakes
TEAM LEADER : INSPECTIONS SERVICES

27 3 01
DATE :



AUCKLAND CITY ENVIRONMENTS

ADVICE OF COMPLETION OF BUILDING WORK

SECTION 43 (1) BUILDING ACT 1991

BUILDING CONSENT INFORMATION

Please complete the following details:

Under Building Consent Number: AC/00/3482 DP 204595
 Project address 7 A Tyburnia Ave Mt Albert (Unit B) CT 133A/719
 From (owner) St Lukes Properties Limited - FRANCIS COLLINS
 Mailing address 44 Kiteaki Ave Mt Albert
 Phone Business s 9(2)(a) Home s 9(2)(a) Fax s 9(2)(a)

BUILDING COMPLETION INFORMATION

Please tick the applicable box

All or Part only (as specified in the attached particulars)

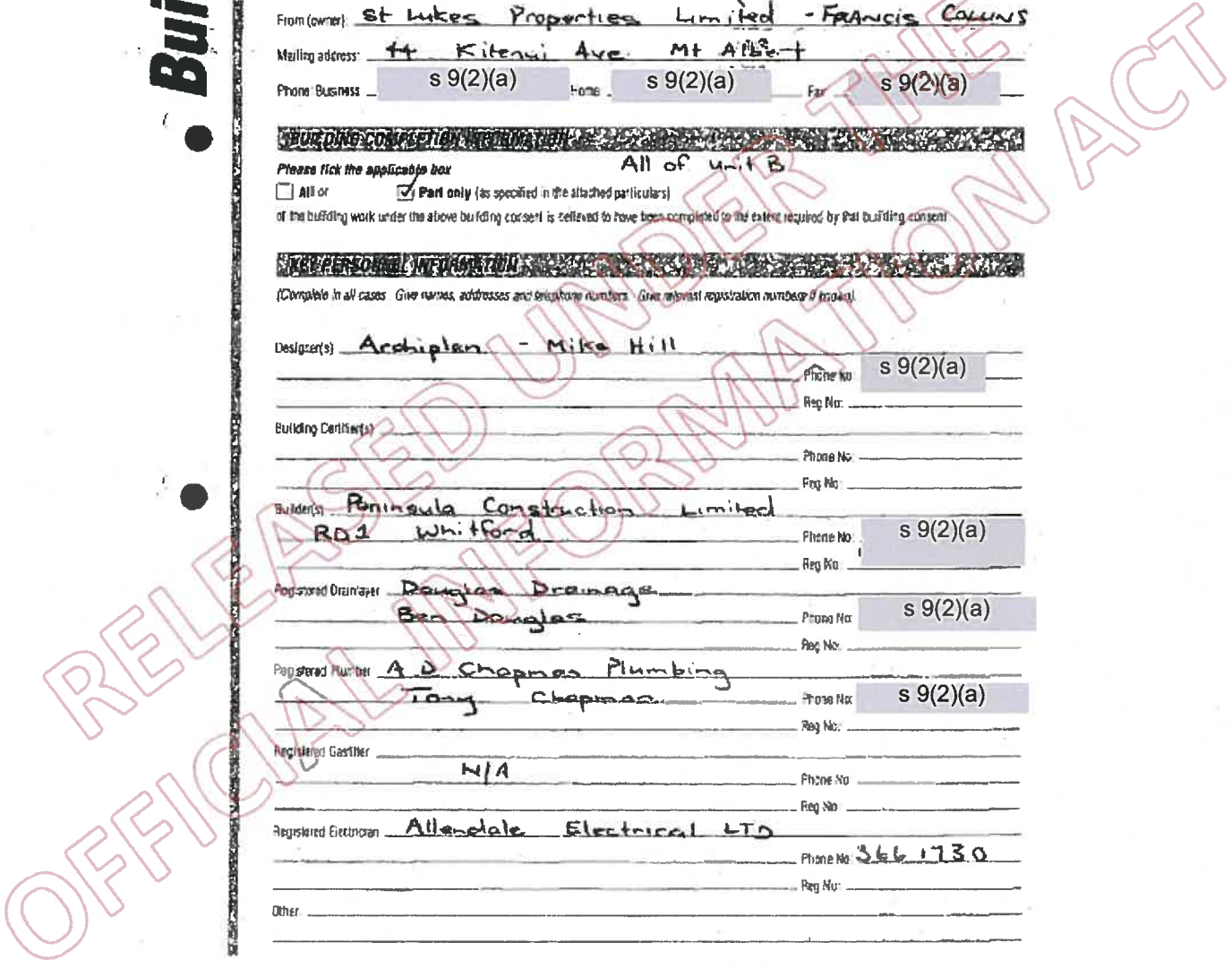
All of unit B

of the building work under the above building consent is believed to have been completed to the extent required by that building consent

KEY PERSONNEL INFORMATION

(Complete in all cases. Give names, addresses and telephone numbers. Give relevant registration numbers if known.)

Designer(s) Archiplex - Mike Hill Phone No s 9(2)(a)
 Reg No _____
 Building Certifier(s) _____
 Phone No _____
 Fax No _____
 Builder(s) Peninsula Construction Limited Phone No s 9(2)(a)
PO1 Whitford Reg No _____
 Registered Drainlayer Douglas Drainage Phone No s 9(2)(a)
Ben Douglas Reg No _____
 Registered Plumber A.D. Chapman Plumbing Phone No s 9(2)(a)
Tony Chapman Reg No _____
 Registered Gasfitter N/A Phone No _____
 Reg No _____
 Registered Electrician Allendale Electrical LTD Phone No 366 1730
 Reg No _____
 Other _____
 Reg No _____



Building Rules

ATTACHED PARTICULARS

- Building Certificates
- Product Statements
- Drainage as built plans
- A Code Compliance Certificate issued by a building certifier
- Electrical and Gas Certificate of Compliance (if applicable)

CODE COMPLIANCE CERTIFICATE REQUIRED

Please tick the applicable box

- A final or An interim

Code Compliance Certificate is requested (except where a Code Compliance Certificate has been issued by a building certifier as stated above)

SIGNED BY OR ON BEHALF OF THE OWNER

Signed: <u>Y. Galloway</u>	Date: <u>26-06-01</u>
Position: <u>Director</u>	

Have you had or booked a final inspection? Please phone 379 2020 to arrange a suitable time.

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 **AUCKLAND CITY**
Auckland City Environments, 35 Graham Street (off Victoria Street West), Auckland Central
Private Bag 92 516, Wellesley Street, Auckland. Telephone: 379 2020. Website: www.aucklandcity.govt.nz

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AUCKLAND CITY ENVIRONMENTS

ADVICE OF COMPLETION OF BUILDING WORK

SECTION 43 (1) BUILDING ACT 1991

BUILDING CONSENT INFORMATION

Please complete the following details:

Under Building Consent Number: AC/003482 DP 204593
 Project address: 7 B Tyburnia Ave Mt Albert (Unit C CT 133A) 720
 From (owner): St Lukes Properties Limited - FRANCIS COLLINS
 Mailing address: 44 Kiteau Ave Mt Albert
 Phone: Business s 9(2)(a) Home s 9(2)(a) Fax s 9(2)(a)

BUILDING COMPLETION INFORMATION

Please tick the applicable box

All or Part only (as specified in the attached particulars)

of the building work under the above building consent is believed to have been completed to the extent required by that building consent.

KEY PERSONNEL INFORMATION

(Complete in all cases. Give names, addresses and telephone numbers. Give relevant registration numbers if known)

Designate(s) Architect - Mike Hill Phone No: s 9(2)(a)

Building Certifier(s) _____ Phone No: _____
 _____ Reg No: _____

Builder(s) Peninsula Construction Limited Phone No: s 9(2)(a)
ROI Whitford Reg No: _____

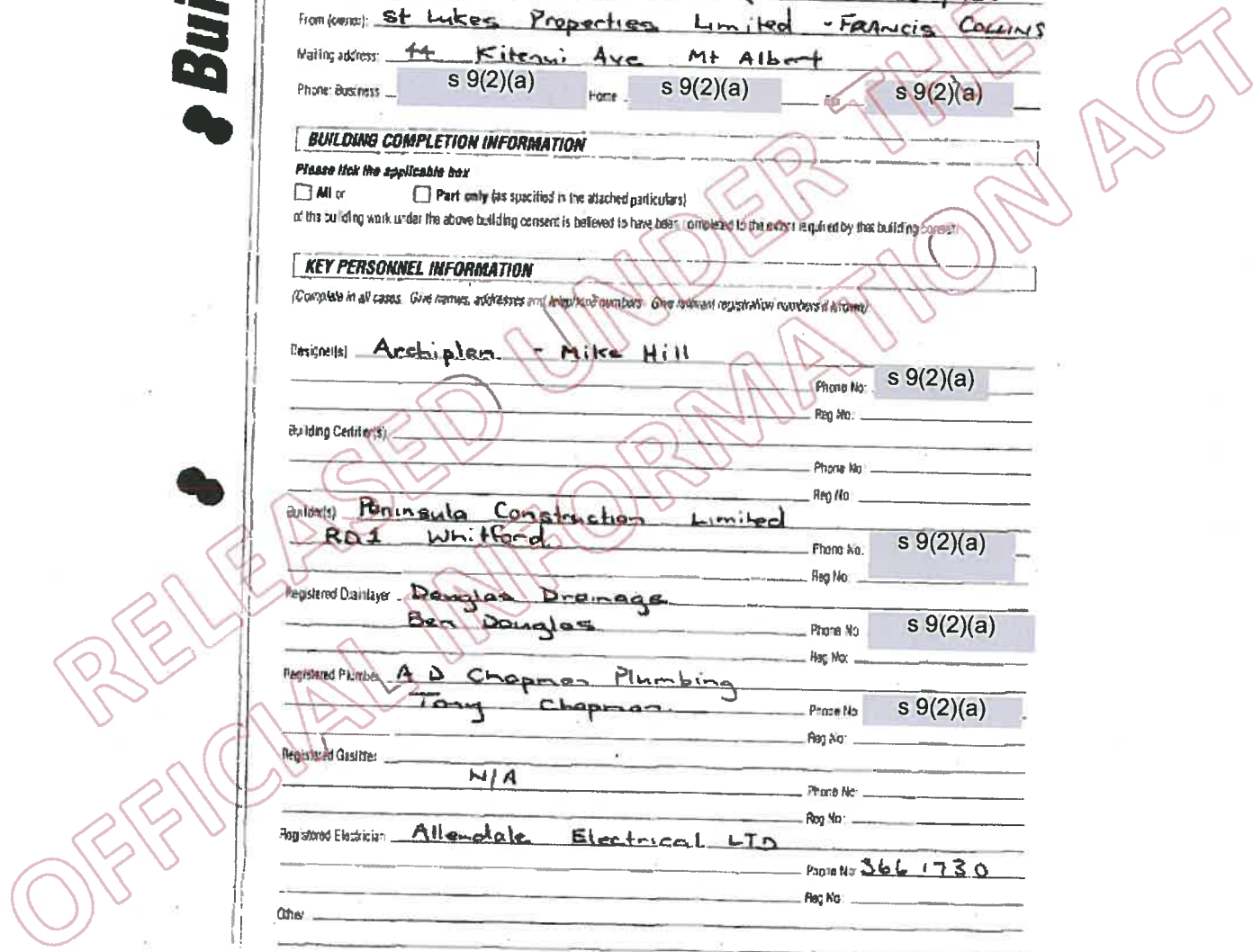
Registered Drainlayer Douglas Drainage Phone No: s 9(2)(a)
Ben Douglas Reg No: _____

Registered Plumber A D Chapman Plumbing Phone No: s 9(2)(a)
Tony Chapman Reg No: _____

Registered Gasfitter: N/A Phone No: _____
 _____ Reg No: _____

Registered Electrician Allendale Electrical LTD Phone No: 366 1730
 _____ Reg No: _____

Other _____ Phone No: _____
 _____ Reg No: _____



Building Rules

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- Building Certificates
- Product Statements
- Drainage as built plans
- A Code Compliance Certificate issued by a building certifier
- Electrical and Gas Certificate of Compliance (if applicable)

CODE COMPLIANCE CERTIFICATE REQUIRED

Please tick the applicable box

- A final one
- An interim

Code Compliance Certificate is requested (except where a Code Compliance Certificate has been issued by a building certifier as stated above)

SIGNED BY OR ON BEHALF OF THE OWNER

Signed: <u>Y. Ball</u>	Date: <u>26-06-01</u>
Position: <u>Director</u>	

Have you had or booked a final inspection? Please phone 379 2020 to arrange a suitable time.

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AUCKLAND CITY ENVIRONMENTS

ADVICE OF COMPLETION OF BUILDING WORK

SECTION 43 (1) BUILDING ACT 1991

BUILDING CONSENT INFORMATION

Please complete the following details:

Under Building Consent Number AC/00/3482 DP 204393
 Project address: 7C Tyburnia Ave Mt Albert (Unit D CT 33A/72)
 From (owner): St Lukes Properties Limited - FRANCIS COLLINS
 Mailing address: 4 Kiteaki Ave Mt Albert
 Phone: Business s 9(2)(a) Home s 9(2)(a) Fax s 9(2)(a)

BUILDING COMPLETION INFORMATION

Please tick the applicable box

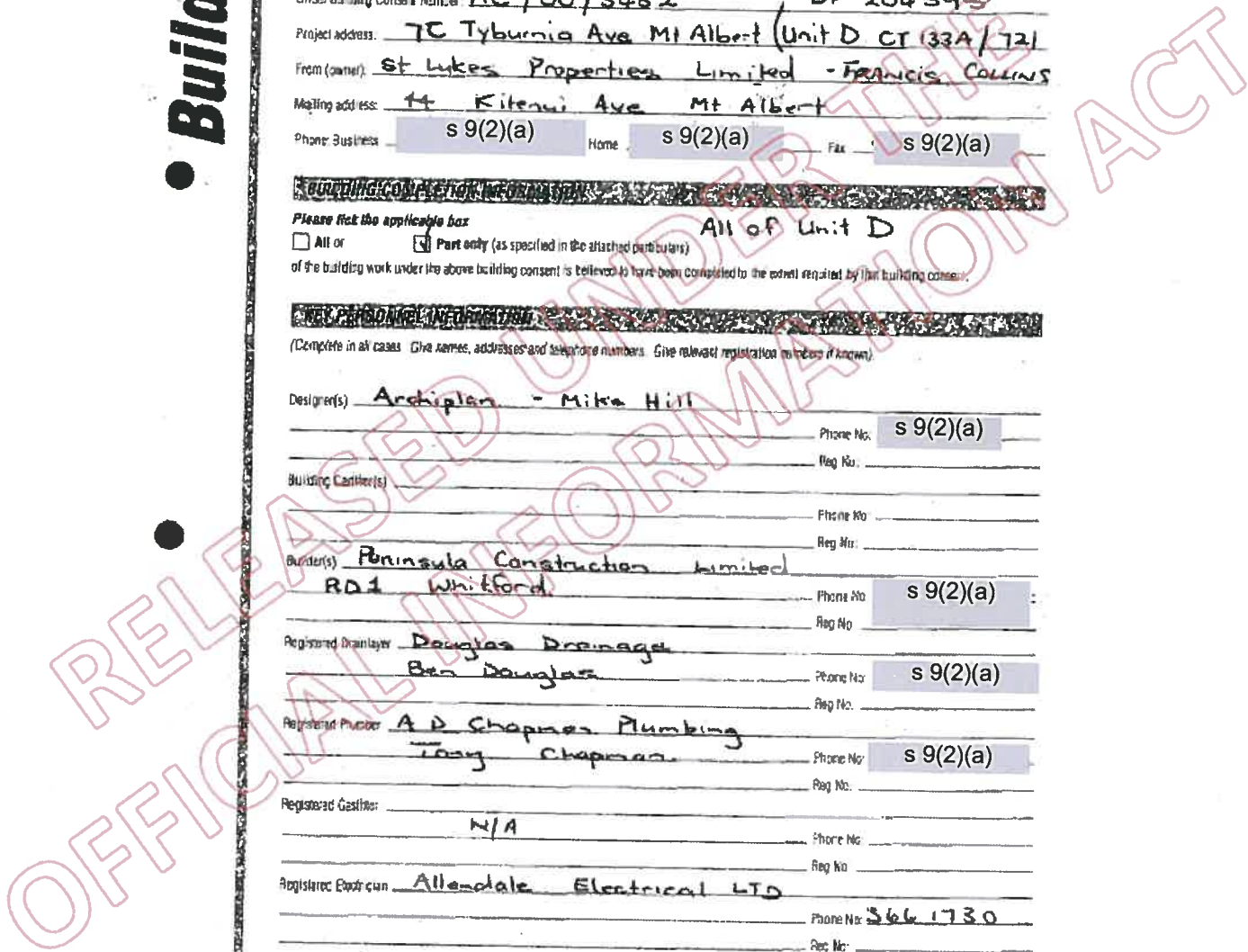
All or Part only (as specified in the attached particulars) All of Unit D

of the building work under the above building consent is believed to have been completed to the extent required by the building consent.

KEY PERSONNEL INFORMATION

(Complete in all cases. Give names, addresses and telephone numbers. Give relevant registration numbers if known.)

Designer(s) Archiplex - Mike Hill
 Phone No. s 9(2)(a)
 Reg No. _____
 Building Contractor(s) _____
 Phone No. _____
 Reg No. _____
 Builder(s) Peninsula Construction Limited
RD1 Whitford
 Phone No. s 9(2)(a)
 Reg No. _____
 Registered Drainlayer Douglas Drainage
Ben Douglas
 Phone No. s 9(2)(a)
 Reg No. _____
 Registered Plumber A D Chapman Plumbing
Tony Chapman
 Phone No. s 9(2)(a)
 Reg No. _____
 Registered Gasfitter: N/A
 Phone No. _____
 Reg No. _____
 Registered Electrician Allendale Electrical LTD
 Phone No. 366 1730
 Reg No. _____
 Other: _____



• Building Rules

ATTACHED PARTICULARS

- Building Certificates
- Product Statements
- Drainage as built plans
- A Code Compliance Certificate issued by a building certifier
- Electrical and Gas Certificate of Compliance (if applicable)

CODE COMPLIANCE CERTIFICATE REQUEST

Please tick the applicable box

- A final or An interim


Code Compliance Certificate is requested (except where a Code Compliance Certificate has been issued by a building certifier as stated above)

SIGNED BY OR ON BEHALF OF THE OWNER

Signed: <u>Y. Coleman</u>	Date: <u>14.03.01</u>
Position: <u>Manager</u>	

Have you had or booked a final inspection? Please phone 379 2020 to arrange a suitable time.

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AUCKLAND CITY ENVIRONMENTS

ADVICE OF COMPLETION OF BUILDING WORK

SECTION 43 (1) BUILDING ACT 1991

BUILDING CONSENT INFORMATION

Please complete the following details:

Under Building Consent Number: AC/00/3482 DP 204595
 Project address: 1 D Tyburnia Ave Mt Albert (Unit E CT133A/722)
 From (name): St Lukes Properties Limited - FRANCIS COLLINS
 Mailing address: 44 Kitemi Ave Mt Albert
 Phone Business: s 9(2)(a) Home: s 9(2)(a) Fax: s 9(2)(a)

BUILDING COMPLETION INFORMATION

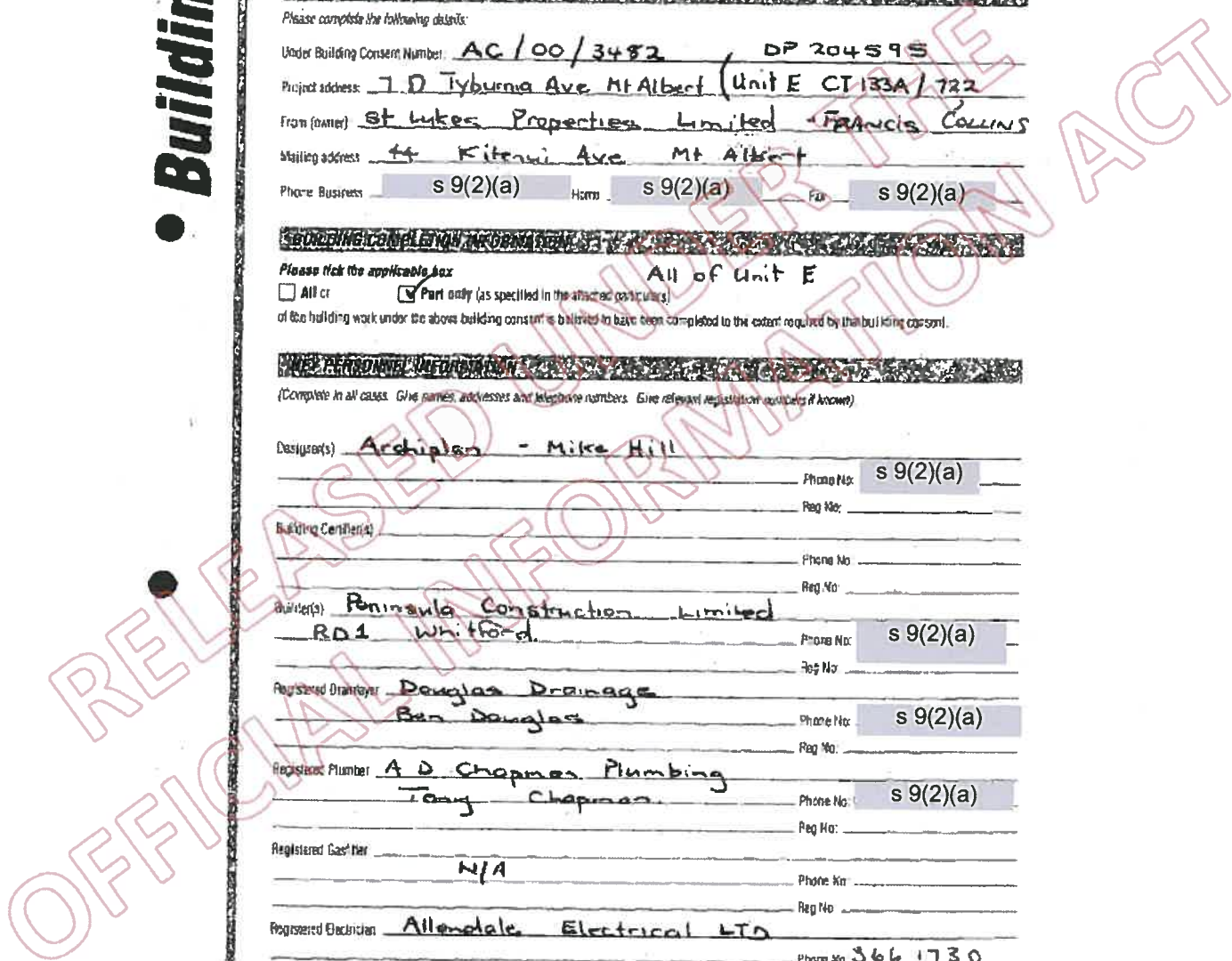
Please tick the applicable box

All or Part only (as specified in the attached particulars) All of Unit E
 of the building work under the above building consent is believed to have been completed to the extent required by the building consent.

KEY PERSONNEL INFORMATION

(Complete in all cases. Give names, addresses and telephone numbers. Give relevant registration numbers if known)

Designer(s) Archplan - Mike Hill Phone No: s 9(2)(a)
 Reg No: _____
 Building Controller: _____
 Phone No: _____
 Reg No: _____
 Builder(s) Peninsula Construction Limited Phone No: s 9(2)(a)
RD1 Whitford Reg No: _____
 Registered Drainer(s) Douglas Drainage Phone No: s 9(2)(a)
Ben Douglas Reg No: _____
 Registered Plumber A D Chapman Plumbing Phone No: s 9(2)(a)
Tony Chapman Reg No: _____
 Registered Gasfitter N/A Phone No: _____
 Reg No: _____
 Registered Electrician Allendale Electrical LTD Phone No: 366 1730
 Reg No: _____
 Other: _____



• Building Rules

ATTACHED PARTICULARS

- Building Certificates
- Product Statements
- Drainage as built plans
- A Code Compliance Certificate issued by a building certifier
- Electrical and Gas Certificate of Compliance (if applicable)

CODE COMPLIANCE CERTIFICATE REQUEST

Please tick the applicable box

- A final An interim

Code Compliance Certificate is requested (except where a Code Compliance Certificate has been issued by a building certifier as stated above)

SIGNED BY OR ON BEHALF OF THE OWNER

Signed: Y. Collins Date: 14-03-0
Position: Manager

Have you had or booked a final inspection? Please phone 379 2620 to arrange a suitable time.

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AUCKLAND CITY ENVIRONMENTS 7114

(AC99 8799)

Site address: 7 Teburnia

Name of recipient: _____

Type of inspection: Interim Final

Consent number: AC00/3482

You are hereby advised to rectify the building work as detailed below. The items when rectified will require inspection and approval by the Council.

For further information or to arrange an inspection please contact Auckland City Environments.

DETAILS OF ITEMS REQUIRING RECTIFICATION AND COMPLETION.

- ✓ 1) SECURE TIES & SEAL BESIDE UNIT D & E
- ✓ 2) ANTI-SYPHON CONNECTORS REQUIRED ON SITE
- ✓ 3) HANDRAIL TO GO FULL LENGTH OF STAIRS
- ✓ 4) SEAL BESIDE UPSTAIRS VANITY

NOTE SAME PROBLEMS BOTH UNITS

UNITS D & E = (3-4)

Inspection Officer's Name: [Signature] Barry Holsted (Print)
Signature: _____ Date: 14.3.01



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AUCKLAND CITY ENVIRONMENTS 7756

Site address: UNIT 1 + 2 7 TYBURNIA AVE.
Name of recipient: ST LUKAS PROPERTIES
Type of inspection: FINAL.
Consent number: AC 00 3483.


You are hereby advised to rectify the building work as detailed below. The items when rectified will require inspection and approval by the Council.

For further information or to arrange an inspection please contact Auckland City Environments.

DETAILS OF ITEMS REQUIRING RECTIFICATION AND COMPLETION

- ① 2nd floor decks require an overflow outlet, discharge to outside of deck balustrade, below dwelling floor level.

Inspection officer's name: BRYAN IRELAND (Print)
Signature: [Signature] Date: 27/6/01

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Auckland City Environments, 35 Graham Street (off Victoria Street West), Auckland Central
Private Bag 92 616, Wellesley Street, Auckland Telephone: 379 2020 Website: www.aucklandcity.govt.nz



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BUILDING CONSENT

PROCESSING SHEET

CONSENT NO. AC / 00 / 3482

PROJECT AT 7 Tyburn Place, Mt Albert

	PRECHECK		INFORMATION REQUIRED	APPROVALS	
	DATE	INITIALS		DATE	INITIALS
Building Inspector					
Plumbing & Drainage					
Drainage Engineer					
Structural Engineer					
Streets Inspector					
Health					
Dangerous goods					
Vehicle crossings					
Fire					
Ventilation					
Lifts					
Pre-site inspection					
Town & Planning					
Final					
Comments					

APPROVED FOR ISSUE..... DATE...../...../.....

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0.000 BTD

INSPECTIONS			
Type:	Date:	Pass/Fail	Comments
Foundation	2/3/00	P	WAT 1+2
Slab	10/8/00	F	WASTE TEST RGR
Blockwork			
Preline Building	11/5/01	P	WAT 1+2
Preline Plumbing	11/5/01	P	
Fire Rated Lining	16/5/01	P	WAT 1+2
	22/5/01	P	WAT 1+2 INTERPENETRATIONS
Insulation	11/5/01	P	WAT 1+2
Postline	29/5/01	P	WAT 1+2
Stucco			
Drainage Test	20/8/00	P	
Stormwater Test	20/8/00	P	
Final	27/6/01		
	20/6/01	P	
NOTE: Make comment if some types of Inspections have NOT been required due to scope of construction			

RELEASED UNDER THE OFFICIAL INFORMATION ACT

INSPECTIONS			
Type:	Date:	Pass/Fail	Comments
1 Foundation	25-2-00	Pass	
2	2-9-00	Pass	Units A-2-3-4
3 Slab	10-8-00	Fail	Units 1-2-3-4
4 Blockwork	11-9	P	C WATER TEST AND P. Pieces up. W.P.P.
			N/A
5 Preline Building	21-11-00	Fail	Unit 3-4
	27-11-00	Pass	" "
6 Preline Plumbing	22-11-00	Fail	" 3-4
	27-11-00	Pass	" "
7 Fire Rated Lining	30-11-00	Pass	First Layer
8 Insulation	27-1-00	Pass	" 3-4
9 Postline	6-12-00	Pass	" " " W & C
			N/A
10 Drainage Test	28-7-00	Pass	
	29-9-00	Pass	Geo Drainage 15828
11 Stormwater Test	2-9-00	Pass	
Final	18-3-00	Fail	Moisture Test
NOTE: Make comment if some types of Inspections have NOT been required due to scope of construction			

This is not an invoice

Fees for Building consents

Project address: 7 Tyburnia Ave Owairaka **Mainstream**
Customer name: Francis Collins **\$400,000**

Subtotal 1,283.00 GST incl
BRANZ 400.00 Levy applies above \$20,000
BIA 260.00
Total \$ 1,943.00 NOTE: Prices include G.S.T.

There may be further fees for Fire engineering, Financial contribution

Development type: Multi unit residential - New
Building category: M Multi-unit dwellings

Consent inputs:	72001	50.00	Lodge admin	
	72002	50.00	P.I.M.	
	72003	150.00	Building processing X 2	≈ 300.00
	72004	105.00	Planning check X 2	≈ 210.00
	72005	263.00	Structural engineering	
	72006	225.00	Inspections X 4	≈ 900.00
	72007	132.00	Drainage design X 2	≈ 264.00
	72008	132.00	Assess drainage video	
	72011	44.00	Building over drain	
	72013	76.00	Fire engineering X 2	≈ 152.00
	72014	45.00	Microfilm	
	72015	11.00	Records	

≈ 3,081.00



Comments: Please note this estimate is based on unseal (or incomplete) plans and verbal information received. The fee will be determined once the lodgement checklist has been completed by a Council officer

Responsible officer: Joe *Gitish Regmi* **Date:** 29 November 99



AUCKLAND CITY

- Field Sheet
- Print Out
- Job No:
- CBA:
- Date:
- ASB
- PMA
- CONDO

CITY ENVIRONMENTS

CODE COMPLIANCE CERTIFICATE MEMORANDUM

Job No.: Consent / Permit No.: AC99/3482

Site Address: 7 TYBURNIA AVE

OWAIRAKA

Final Inspection Date: 21.3.01

Record here any units worked on this job today:

UNITS DUE ONLY (3-4)

DATE	UNITS	CODE	PASS/FAIL
<u>21 3 01</u>	<u>5</u>	<u>IC</u>	<u>Pass</u>
<u>27 3 01</u>		<u>OT</u>	<u>Pass</u>

INSPECTIONS OFFICER: Bl. Colth DATE: 21-3-01

TCS \$900

A CODE COMPLIANCE CERTIFICATE

Units DUE

AN INTERIM CODE COMPLIANCE CERTIFICATE (SEE ATTACHED DETAILS)

Can be issued subject to the charges/credits for the following:

- 12 NUMBER OF COMPLETED INSPECTIONS
- NUMBER OF COMPLIANCE SCHEDULE SYSTEMS
- OR
- BUILDING PERMIT WORK COMPLETION

**Mainstream
Fixed Fee**

No invoice

costs do not exceed deposit

Stewart Hoakes
TEAM LEADER : INSPECTIONS SERVICES

27 3 01
DATE :

1st Interim 27/3/01

PER INSPECTIONS UNITS

CODES	UNITS/INSPECTIONS	AMOUNT
71004		
71016		
71202		
71208		
71017 / 70808	DEPOSIT	\$ 900.00
INTERIMS		
71003	68 U	520.20
71015	2	32.18
71206		
71207		
COMPLIANCE SCHEDULE		
71217		
71219		
TOTAL		\$ - 488.02
<input checked="" type="checkbox"/> REFUND <input type="checkbox"/> NO INVOICE		

Referenced with Consent Nos:	Ant	Units	Inspection	CCC Approval	Amount

Margaret
 OK TO ISSUE FOR
 INTERIM CCC
 UNITS D + E ONLY

1/26/01

Costs do not exceed deposit.

FINAL INSPECTION CHECK LIST

RESIDENTIAL

		P	F
Structures	<ul style="list-style-type: none"> • Bolted and mechanical connections • Retaining walls • Decks and barriers 		
Means of escape	<ul style="list-style-type: none"> • Exit doors • Locking devices • Safe paths 		
Spread of fire -	<ul style="list-style-type: none"> • Fire rated walls • Free standing Fire places • Mechanical connections 		
Stairways	<ul style="list-style-type: none"> • Tread riser, sizes • Winders and landings • Handrails and Spacing of balustrades 		
Surface Water	<ul style="list-style-type: none"> • Gully heights above sealed areas • As built drainage plans • Stormwater cesspits • Grades of paved areas to cesspits • Holding tanks and pump systems • FFL above surface areas street and rear boundary 		
External Finish	<ul style="list-style-type: none"> • weather sealing of cladding • Knot and grade of boarding • Stucco expansion strips • vehicle Crossing 		
Internal Finish	<ul style="list-style-type: none"> • Ventilation, Room Sub/floor and Roof spaces • Safety glazing • Moisture sealing • Insulation Roof/Subfloor areas 		
Plumbing Drainage	<ul style="list-style-type: none"> • HWC supply, valves and strapping • Back flow • Waste pipes - vent pipes 		
Documentation	<ul style="list-style-type: none"> • Advice of Completion certificate • Energy Certification • Previous site inspection notation 		
Completion:	Pass/Fail		

Site Address:

Consent No: AC 00 3482

Inspector: BRYAN IRELAND

Signature: *Bryan Ireland*

Inspection Date:

inspectorsformchecklist.pdf

INS 14

FINAL INSPECTION CHECK LIST

RESIDENTIAL

		P	F
Structures	<ul style="list-style-type: none"> Bolted and mechanical connections Retaining walls Decks and barriers 	/	/
Means of escape	<ul style="list-style-type: none"> Exit doors Locking devices Safe paths 	/	/
Spread of fire -	<ul style="list-style-type: none"> Fire rated walls Free standing Fire places Mechanical connections 	/	/
Stairways	<ul style="list-style-type: none"> Tread riser, sizes Winders and landings Handrails and Spacing of balustrades 	/	/
Surface Water	<ul style="list-style-type: none"> Gully heights above sealed areas As built drainage plans Stormwater cesspits Grades of paved areas to cesspits Holding tanks and pump systems FFL above surface areas, street and rear boundary. 	/	/
External Finish	<ul style="list-style-type: none"> weather sealing of cladding Knot and grade of boarding Stucco expansion strips Vehicle Crossing 	/	/
Internal Finish	<ul style="list-style-type: none"> Ventilation, Room Sub/floor and Roof spaces Safety glazing Moisture sealing Insulation Roof/Subfloor areas 	/	/
Plumbing Drainage	<ul style="list-style-type: none"> HWC supply, valves and strapping Back flow Waste pipes - vent pipes 	/	/
Documentation	<ul style="list-style-type: none"> Advice of Completion certificate Energy Certification Previous site inspection notation 	/	/
Completion:	Pass/Fail		

Site Address: 7 TUGANUA AVE
 Inspector: S. Houghton
 Inspection Date:

Consent No: AC 00/3482
 Signature: [Signature]

RELEASED UNDER THE OFFICIAL INFORMATION ACT



AUCKLAND CITY

BUILDING CONSENT

AUCKLAND CITY ENVIRONMENTS

CONSENT No: AC/00/03482
 DATE LODGED: 25/05/00
 PIM No:

APPLICANT: St Lukes Properties Limited
 16 Allendale Road, Mt Albert, Auckland 1003

PROJECT: Use: Erect 4 new townhouses as 2 duplexes

Class(es): Unit/Flat/Townhouse

Intended Life: NOT LESS THAN 50 YEARS Estimated Value: \$400,000

PROJECT ADDRESS: 7 Tyburnia Avenue, Owairaka
 LOT 2 DP 56162
 CT: 56A / 92

This Building Consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the New Zealand Building Code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

A Project Information Memorandum has not been previously issued for this project. This building consent provides all the information required in, and is deemed to constitute, a Project Information Memorandum.

This building consent is issued subject to the conditions below.

BUILDING ACT 1991 SECTION 35 (1A)

Authorisation under the Resource Management Act 1991 has not been obtained for the works detailed in this consent.

FINANCIAL CONTRIBUTION TO BE PAID WHEN BUILDING CONSENT IS UPLIFTED.

Signed for and on behalf of Council:

G. WINSHIP

[Handwritten signature]

Date:

11 JUL 2000



35 Graham Street, Auckland Central
 Postal Address:
 Private Bag 92 516 Wellesley Street Auckland 1 New Zealand
 Telephone (09) 379 2020
 Website: www.aucklandcity.govt.nz



AUCKLAND CITY ENVIRONMENTS

BUILDING CONSENT

Video Attached **'APPLICATION FORM AND GUIDELINES**

This page must be completed. Failure to do so may delay the processing of this application. The notes on the back page will help in completing this form.

The application is for (please tick appropriate box)
 Both Building Consent and a Project Information Memorandum Resource Consent No. A0/00/32
 Building Consent only, in accordance with Project Information Memorandum Number _____
 Amendment to existing Building Consent Number _____ *N. P. [Signature]*

PROJECT LOCATION	OFFICE USE ONLY
Street address: <u>7 Tyburnia Ave</u> <u>Mt Albert</u>	Receipt Number: <u>489270</u>
Legal description (As shown on certificate of title or sales note) Lot <u>2</u> DP <u>S612</u> or Section <u>50</u> <u>CT 564/92</u>	Consent Number: <u>A0/00/32</u>
Survey or Registration District or combination of these. If none apply, give whatever information is necessary to identify the location.	Date Consent Lodged: <u>25/05/00</u>
OWNER DETAILS	
Name of owner: <u>St Lukes Properties Limited</u>	
Mailing Address: <u>44 Kitemu Ave</u> <u>Mt Albert</u>	
Phone Business: <u>s 9(2)(a)</u> Fax: <u>s 9(2)(a)</u> Home: <u>s 9(2)(a)</u>	

Under Section 33 of the Building Act 1991, the applicant must be the owner of the land on which building work is contemplated or a person who or which has agreed in writing, whether conditionally or unconditionally, to purchase the land, or to take a lease of the land, while the agreement remains in force.

AGENT CONTACT DETAILS (on applicant's behalf)

Name: Francis Collins Relation to owner: Director
 Mailing Address: 44 Kitemu Ave
Mt Albert
 Phone Business: s 9(2)(a) Fax: s 9(2)(a) Home: s 9(2)(a)

PROJECT DETAILS (description of work) (please print)

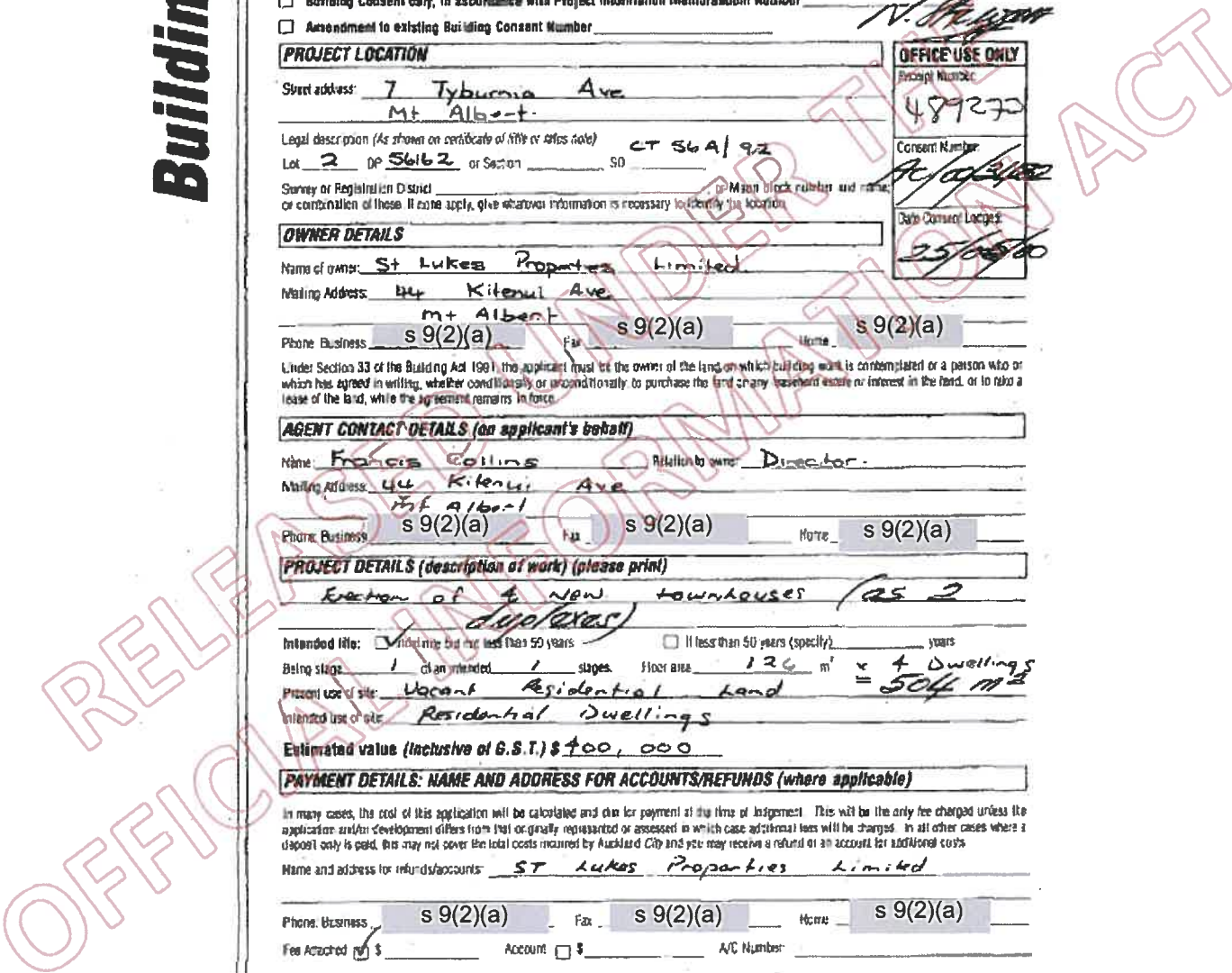
Erection of 4 new townhouses (as 2 duplexes)

Intended life: Indefinite but not less than 50 years If less than 50 years (specify) _____ years
 Being stage: 1 of an intended 1 stages Floor area: 126 m² x 4 Dwellings
 Present use of site: Vacant Residential Land = 504 m²
 Intended use of site: Residential Dwellings
 Estimated value (inclusive of G.S.T.) \$ 700,000

PAYMENT DETAILS: NAME AND ADDRESS FOR ACCOUNTS/REFUNDS (where applicable)

In many cases, the cost of this application will be calculated and due for payment at the time of lodgement. This will be the only fee charged unless the application and/or development differs from that originally represented or assessed in which case additional fees will be charged. In all other cases where a deposit only is paid, this may not cover the total costs incurred by Auckland City and you may receive a refund or an account for additional costs.

Name and address for refunds/accounts: ST Lukes Properties Limited
 Phone Business: s 9(2)(a) Fax: s 9(2)(a) Home: s 9(2)(a)
 Fee Attached \$ _____ Account \$ _____ A/C Number: _____



Building Consent

PROJECT DETAILS

(Only complete if you have not applied separately for a Project Information Memorandum)

The project involves the following: (Tick each box and attach two copies of the relevant information)

- | | |
|---|--|
| <input type="checkbox"/> Location, in relation to legal boundaries, and external dimensions of new, relocated, or altered buildings | <input type="checkbox"/> Provisions to be made in building over or adjacent to any road or public place |
| <input type="checkbox"/> New provisions to be made for vehicular access, including parking | <input type="checkbox"/> New provisions to be made for disposing of storm and wastewater |
| <input type="checkbox"/> Precautions to be taken where building work is to take place over existing drains or sewers or in close proximity to wells or waterbains | <input type="checkbox"/> Provisions to be made in any demolition work for the protection of the public, suppression of dust, disposal of debris, disconnection from public utilities, and suppression of noise |
| <input type="checkbox"/> New connections to public utilities | <input type="checkbox"/> Any cultural heritage significance of the building or building site, including whether it is on a marae |

BUILDING DETAILS

(Must be completed)

The application is accompanied by (Tick each box and attach two copies of the relevant information)

- | | |
|--|---|
| <input checked="" type="checkbox"/> The drawings, specifications, and other documents according to which the building is to be constructed to comply with the Building Code, with supporting documents, if any, including: | <input checked="" type="checkbox"/> Producer statements |
| <input checked="" type="checkbox"/> Building certificates | <input type="checkbox"/> References to determinations issued by the Building Industry Authority |
| <input type="checkbox"/> References to accreditation certificates issued by the Building Industry Authority | <input type="checkbox"/> Waivers, exemptions - documentation of these to be attached |
| <input type="checkbox"/> Proposed procedures, if any, for inspection during construction | |
| <input type="checkbox"/> Change of use of building - attach relevant documentation | |

COMPLIANCE SCHEDULE DETAILS

A: Systems REQUIRING a compliance schedule (Complete for all new buildings and alterations, except single residential dwellings)

The building will contain the following: (Tick the relevant boxes and attach proposed inspection, maintenance, and reporting procedures)

- | | |
|--|--|
| <input type="checkbox"/> Automatic sprinkler systems or other systems of automatic fire protection | <input type="checkbox"/> Automatic codes which form part of any fire wall and which are designed to close shut and remain shut on a fire alarm |
| <input type="checkbox"/> Emergency warning systems for fire or other dangers | <input type="checkbox"/> Emergency lighting systems |
| <input type="checkbox"/> Escape route pressurisation systems | <input type="checkbox"/> Riser mains for the service use |
| <input type="checkbox"/> Automatic back-flow preventer connected to a drinkable water supply | <input type="checkbox"/> Lifts, escalators or conveyors or other similar systems |
| <input type="checkbox"/> Mechanical ventilation or air conditioning system serving all or a major part of the building | <input checked="" type="checkbox"/> Other mechanical, electrical, hydraulic, or electronic system whose power operation is necessary for compliance with the building code |
| <input type="checkbox"/> Building maintenance units for providing access in the exterior and interior walls of buildings | <input type="checkbox"/> Such signs as are required by the Building Code in respect of the above-maintained premises |
| <input checked="" type="checkbox"/> None of the above | |

B: Other systems and features to be included in the compliance schedule (Complete only if the building contains one or more of the systems listed in Part A above)

The building will contain the following: (Tick the relevant boxes and attach proposed inspection, maintenance, and reporting procedures)

- | | |
|---|---|
| <input type="checkbox"/> Means of access and facilities for use by persons with disabilities which meet the requirements of Section 25 of the Disabled Persons Community Welfare Act 1975 | <input type="checkbox"/> Such signs as required by the Building Code of Section 25 of the Disabled Persons Community Welfare Act 1975 |
| <input type="checkbox"/> Hand-held hoses for fire fighting | <input type="checkbox"/> Means of escape from fire |
| <input type="checkbox"/> Safety barriers | |

SWIMMING OR SPA POOL

Is there a swimming/spa pool at this address?

Yes No

If so, does this consent relate to any works associated with the swimming/spa pool?

Yes No

If yes, attach a full fencing layout and construction details including an elevation of the house if used as part of the fence. Documents attached?

Yes No

KEY PERSONNEL

(Complete as far as possible in all cases. Give names, addresses, and telephone numbers. Give relevant registration numbers if known)

Designer(s): Archiplan Design - Mike Hill Ph: s 9(2)(a)

Building certifier(s) _____ Ph: _____

Builder(s): Peninsula Construction LTD Ph: s 9(2)(a)
174 Potts Rd Whitford

Registered drainlayer: Douglas Drainage Ph: s 9(2)(a)

Ben Douglas 3 Uinter Terrace Mt Albert

Registered plumber: McKenzie Plumbing - McKenzie Ph: s 9(2)(a)

27 Bannerman Rd Western Springs

Registered gasfitter: N/A Ph: _____

Registered electrician: Attendate Electrical LTD Ph: 336 1739
s 9(2)(a)

Other _____

Proposed procedures, if any, for inspection during construction

DECLARATION AND SIGNATURE

This box must be completed for your application to be processed.

I agree to pay the charges incurred in the processing of this Building Consent. I declare that the information contained in this form is correct.

Signature of owner/applicant: [Signature]

Name (please print): Francis Collins Date: 17-5-00

Mailing address: 4 Kitewi Ave Mt Albert

Phone (business): s 9(2)(a) Fax: s 9(2)(a) Home: s 9(2)(a)

Signature: [Signature] Date: 15-05-00

DO NOT SIGN THIS unless there is a need to safeguard the copyright of the plan or specifications or the security of the building may be at risk. The confidentiality only applies to the plans. It does not cover information classified as "Public Information" under the Official Information Act (Building Act 1991). In practice, this rarely applies to private residences.

GUIDELINES

WHAT YOU NEED TO SEND US

1. APPLICATION FORM

Complete all sections of form except Part B if a Project Information Memorandum has already been obtained.

2. PLAN

All plans must be self-evidently drawn in black ink. All dimensions are to be given in metric terms with all plans drawn to an accurate scale to allow for dimensions to be checked.

(a) BUILDING PLANS - 3 COPIES

All plans are to be drawn to a minimum scale of 1 to 100 with any detail requiring clarification being drawn to a minimum scale of 1 to 50. (For large developments 1 to 200). The following information must be shown:

- (i) Floor plans, if proposed work is an alteration or an extension then existing as well as proposed floor plans are to be provided. The entire floor layout is required.
- (ii) Cross section through a major direction showing FFL (Finished Floor Level).
- (iii) Elevations of all exterior walls of the building to show ground levels both existing and final.
- (iv) A foundation plan, to show all elements and bracing, and subfloor framing.
- (v) Roof plan, to show all members and bracing required (truss codes, label sizes etc).
- (vi) Details of wall bracing on plan and calculations to be provided (NZ 3604 1990).
- (vii) Structural elements specifically designed by an Engineer must be recorded on the working drawings. Sketches contained in the engineering calculations are not accepted.

(b) SITE PLANS - 3 COPIES

All site plans are to be drawn to a minimum scale of 1 to 200. The following information is required to be shown:

- (i) Define on site plan all survey pegs to the lots involved. Show and calculate all areas of impermeable site coverage showing all types over 6m in height and/or 600mm girth.
- (ii) The length and bearing of all boundaries.
- (iii) The existing site sanitary and stormwater drainage and the proposed method of sanitary and stormwater drainage to be shown.
- (iv) Permanent site datum, finished levels of ground and floors related to datum boundary level sufficient to check height to boundary.
- (v) Existing land contours at a maximum of 0.5 metre increments.
- (vi) Any existing or proposed buildings to be clearly defined and dimensioned from boundaries and other buildings.
- (vii) A plumbing schematic is required for multi-storey buildings.
- (viii) Provide details of vehicular access and where applicable car parking spaces and vehicle manoeuvring on the property.
- (ix) The North Point.
- (x) Excavation and site development and/or retention proposals. If a building platform is required, details of bracing and all connections will be necessary.
- (xi) **Hauraki Gulf Islands Only**
Position of sanitary drains and septic tanks to be shown on the plan. Distances to boundaries to be stated.

3. STRUCTURAL CALCULATIONS - 2 COPIES

Commercial, Industrial and Residential buildings work requiring specific design will require structural calculations to be provided for checking. Structural calculations are not to be provided when a Producer Statement - Design is submitted.

NOTE: A structural check may not be required for residential dwellings up to 3 storeys in height, having specifically designed elements, providing an acceptable Producer Statement - Design is received with the application documents together with calculations and drawings signed by Design Engineer. Design of foundations will not be accepted for residential dwellings which are to be sited on land for which a soils investigation is necessary. Nor will a Producer Statement - Design be accepted for bridging details of public sewers.

4. SPECIFICATIONS - 2 COPIES

The specification covers the standards of quality of work and quality of materials, which only relates to the work to be carried out.

5. COPY OF CERTIFICATE OF TITLE

6. DESIGN OF ON-SITE WASTEWATER DISPOSAL SYSTEM (HAURAKI GULF ISLANDS ONLY)

A site assessment and design for the property's wastewater septic tank and effluent system by a registered drainlayer or wastewater engineer. (Dependent of the nature of the property, certain applications are to be undertaken by an engineer. Discuss with a Building Advisory Officer for your project).

7. OTHER DOCUMENTS

Attach any producer statements or Building Certifier's Certificates.

8. FEES AND CHARGES

In many cases, the cost of this application will be calculated and due for payment at the time of lodgement. This will be the only fee charged unless the application and/or development differs from that originally represented or assessed in which case additional fees will be charged. In all other cases where a deposit only is paid, this may not cover the total costs incurred by Auckland City and you may receive a refund or an account for additional costs.



AUCKLAND CITY

Auckland City Environment, 85 Graham Street (off Victoria Street West), Auckland Central
 Waikato Island Service Centre, 10 Rangiora Street, Okeano, Waikato Island
 Great Barrier Island Service Centre, Hector Sanderson Road, Claris, Great Barrier Island
 Pukekohe Bay 82 510, Wallacey Street, Auckland. Telephone: 379 7000. Website: www.aucklandcity.govt.nz

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 recycled paper



D 1.3 Documentation relating structural issues – Engineer's report

10 October 2007

John Lawrence
Manager Residential Development
Auckland City Council
Private Bag 92 516
Wellesley Street
Auckland

Department of
Building and Housing
Te Taru Kōwhiri Whare

Level 6, 85 Customhouse Quay
PO Box 10 285, Wellington
Tel +64 4 434 2000
Fax +64 4 434 0290
www.dbh.govt.nz

Dear John

Potentially dangerous or insanitary building

This letter is to notify you that Weatherlight Services has been alerted to a building at 7 Tyburnia Avenue, Mt Roskill, Auckland, which may be dangerous or insanitary in terms of the Building Act 2004.

Enclosed for your information, is a copy of the Abacus Engineering Ltd structural engineer's report relating to Unit C. Also enclosed are photos of the damage to Unit C taken by the Weatherlight Services assessor Allen Miller.

We draw your attention to the second paragraph of this engineer's report that states that:

"The deck was not made Weatherlight when it was originally built and has led to severe decay in the beam at the rear of the deck and a large proportion of the first floor."

The engineer goes on to say that:

"The decay is such that those beams and consequently the floor, walls and roof above are in danger of collapse."

The engineer recommends:

"That the floor be temporarily supported as shown in the attached sketch. This work should be undertaken within 2 weeks of the date of this letter."

Weatherlight Services has given written notice to both the affected unit owner and the body corporate representative.

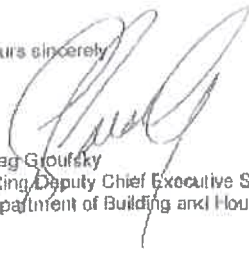
The Building Controls unit of the Department of Building and Housing has also been notified and will contact you within 28 days to establish what action has been taken in respect of this building.

REK 02

Issued 01/10/07



Yours sincerely



Greg Goufsky
Acting Deputy Chief Executive Service Delivery
Department of Building and Housing

- cc: David Rankin
Chief Executive Officer
Auckland City Council
- cc: Carol Simpson
Team Leader - Environmental Services Manager
Auckland City Council
- cc: David Kelly
Deputy CE Building Quality
Department of Building and Housing
- cc: Malcolm MacMillan
Manager Consent Authority Capability & Performance Group
Department of Building and Housing

Encl: Copy of the Abacus Engineering Ltd structural engineer's report including a sketch outlining the recommended propping
Photos of the damage to Unit C taken by the Weatherlight Services Assessor

By facsimile (09 353 9351) and post

RSK 02

Issued 01/04/07

9 October 2007

Malcolm MacMillan
Manager Consent Authority Capability & Performance Group
Department of Building and Housing
86 Customhouse Quay
Wellington

Department of
Building and Housing
P.O. Box 10400

Level 8, 86 Customhouse Quay
P.O. Box 10 100, Wellington
Tel: +64 (0)4 492 0000
Fax: +64 (0)4 492 0000
www.dbh.govt.nz

Dear Malcolm

Potentially dangerous or insanitary building

Weatheright Services has been alerted that a building at 7 Tyburnia Avenue - Mt Roskill, Auckland may be dangerous or insanitary in terms of the Building Act 2004.

Weatheright Services has notified the Auckland City Council and a copy of that letter is enclosed, along with a copy of the Abacus Engineering Ltd structural engineer's report and photos of the damage to Unit C taken by the Weatheright Services assessor Allen Miller.

In accordance with the memorandum of understanding between Weatheright Services and Building Quality, it is requested that you follow up this matter with the territorial authority, and advise Neil Metrick at Weatheright Services in due course as to what action the territorial authority has taken.

I appreciate your assistance in this matter.

Yours sincerely



Belinda Couner
Claims Advisor
Weatheright Services

Encl: Copy of the Abacus Engineering Ltd structural engineer's report including a sketch outlining the recommended propping
Photos of the damage to Unit C taken by the Weatheright Services Assessor

cc: David Kelly
Deputy CE Building Quality
Department of Building and Housing

DBH 02

Issued 01/04/07



9 October 2007

Michelle Young
Body Corporate Secretary
Unit C, 7 Tyburnia Ave
Mt Roskill
Auckland

Department of
Building and Housing
PO Box 10408 Wellington

Level 6, 80 Customhouse Quay
PO Box 10 732 Wellington
Tel: +64 4 451 0200
Fax: +64 4 451 0200
www.dbh.govt.nz

Dear Michelle

Potentially dangerous or insanitary building - 7 Tyburnia Avenue, Mt Roskill, Auckland
DEH case number: 05533

This letter is to notify the body corporate that Weatheright Services has been alerted to a unit at 7 Tyburnia Ave that may be dangerous or insanitary in terms of the Building Act 2004.

Weatheright Services has also notified the Auckland City Council which is responsible for determining whether buildings are dangerous or insanitary under the Building Act, and for taking appropriate follow up action.

Enclosed is a copy of the Abacus Engineering Ltd structural engineer's report relating to Unit C. Also enclosed are photos of the damage to Unit C taken by the Weatheright Services assessor Alan Miller.

Please note that the claimant of Unit C has been verbally notified of the danger to her unit by the Weatheright Services assessor.

We draw your attention to the second paragraph of the engineer's report that states that

"The deck was not made Weatheright when it was originally built and has led to severe decay in the beam at the rear of the deck and a large proportion of the first floor."

The engineer goes on to say that:

"The decay is such that these beams and consequently the floor, walls and roof above are in danger of collapse."

The engineer recommends:

"That the floor be temporarily supported as shown in the attached sketch. This work should be undertaken within 2 weeks of the date of this letter."

Given the potential safety implications, Weatheright Services wish to reinforce the structural engineer's recommendations that the floor is propped immediately.

HSK/12

Issued 01/10/2007



Please note that although the investigations were undertaken on Unit C, it is likely that the situation will be the same on the other units which are of similar construction. It is recommended that the propping mentioned above be undertaken on the other 3 units of this complex.

It is Weatherlight Services policy to notify body corporate representatives when health and safety issues arise which could affect unit owners and the safety of the people using the common areas.

In regards to whether or not the damage to Unit C includes damage to the common property, the Weatherlight Services assessor, Allen Miller states that:

"The damage to the lintel and supporting wall is part of Unit C, and is therefore unit entitlement and not common property."

Weatherlight Services will forward a copy of any further engineer's reports to the appropriate claimants as well as a copy to the body corporate representative.

Please contact me if you have any further questions. My phone number is 0800 324 477

Yours sincerely



Belinda Couper
Claims Advisor
Weatherlight Services

Encl: Copy of the Abacus Engineering Ltd structural engineer's report including a sketch outlining the recommended propping
Photos of the damage to Unit C taken by the Weatherlight Services Assessor

RSK 02

Issue 01104212

ABACUS ENGINEERING LTD
CIVIL AND STRUCTURAL ENGINEERING, INNOVATIVE STRUCTURES

3 October 2007

Department of Building and Housing
Weatheright Homes Remediation Service
PO Box 5011
Wellington
Attn: Allen Miller
Cc: Tony Minchin

Dear Sir,

7 TYBURNIA STREET, SANDRINGHAM

You asked us to go onsite and look at a particular part of the above unit, namely the support of the deck and first floor. Our investigations were restricted to the features you pointed out to us and we looked no further at your instruction.

The Units are two storied and the front elevation and a section are shown on the accompanying plans. At the front of the Units, at the ground floor level, is a garage and above that is a deck which extends a couple of metres from the front wall. This deck was not made weatherlight when it was originally built and has led to severe decay in the beam at the rear of the deck. The beam consists of two 300 x 50 ganglam beams. The beam supports the deck and a large proportion of the first floor.


We took photographs which show the extent of the decay at the ends of the beam which we attach with this report. The decay is such that these beams and consequently the floor, walls and roof above are in danger of collapse. We therefore recommend that the floor be temporarily supported using a 250 UB 37# beam, as shown on the attached sketch, supported at each end as shown because the timber wall framing at each end is decayed and particularly the bottom plate of the outer wall is also severely decayed. We have chosen a steel beam so that the garage door can continue to be opened and so that the garage can continue to be used.

Because the garage door is an overhead door the door track chain means there is insufficient height above to accommodate the beam. We have therefore housed it up into the garage ceiling adjacent to the beam. We judge that the joist hangers connecting the joists to the beam will be sufficient to transfer the deck loads to the new beam.

This work should be undertaken within 2 weeks of the date of this letter.

Although the investigations were undertaken on Unit C it is likely that the situation will be the same on the other Units which are of similar construction. We recommend that the above measures be undertaken on the other 3 Units.

Yours faithfully
ABACUS ENGINEERING LTD

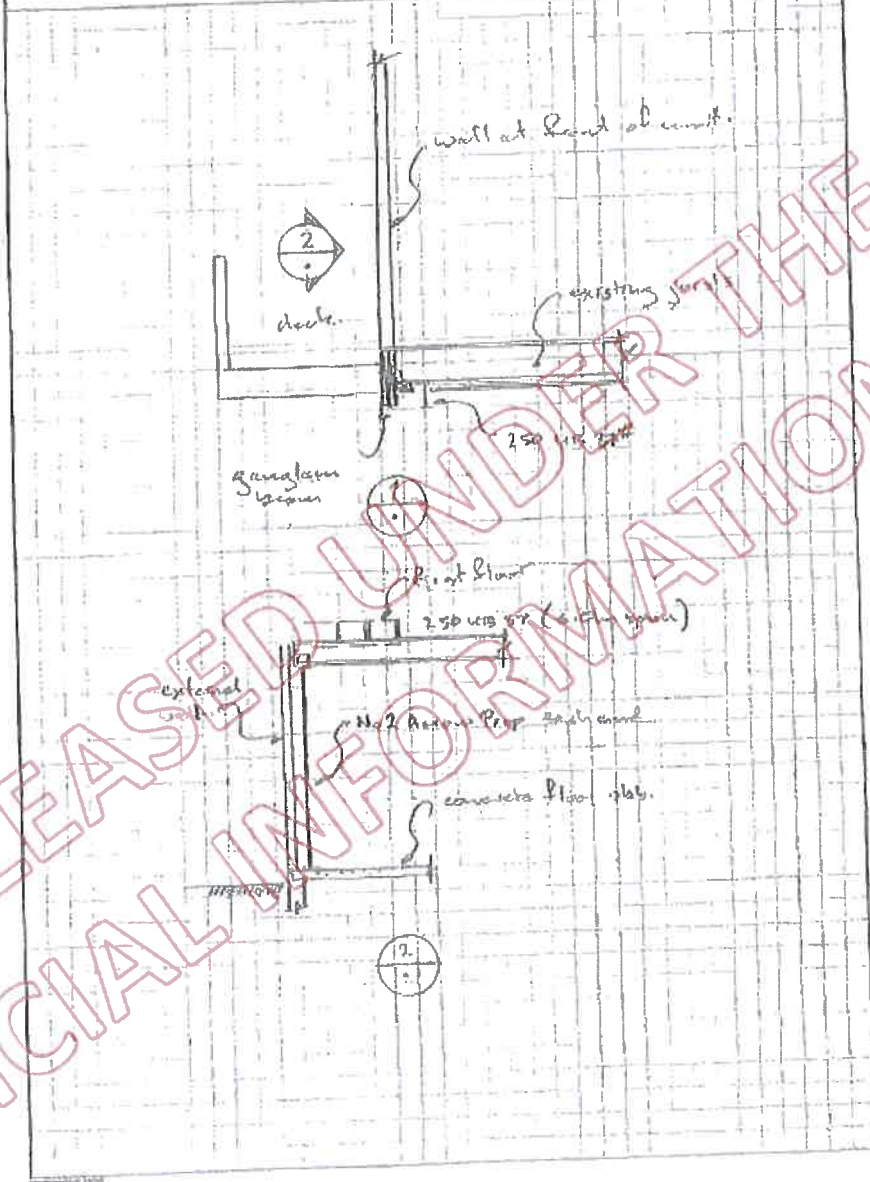

M.O. Lake CPEng

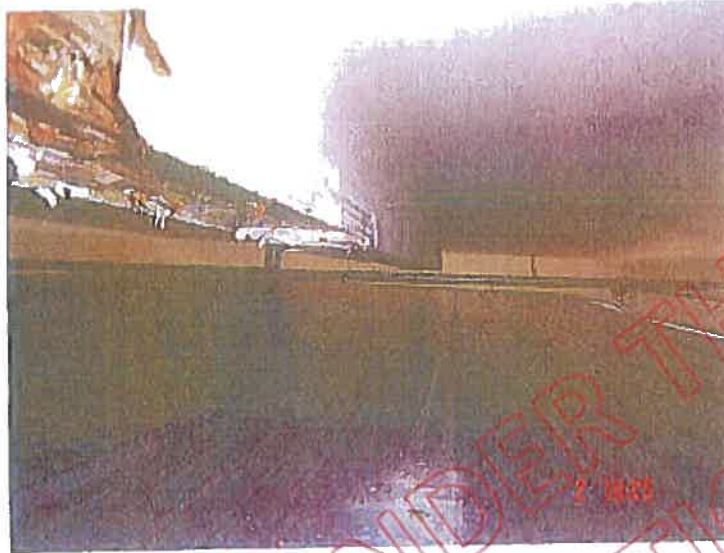
P.O. Box 37 254 Parnell, Auckland, Unit F 46 Stanley St, Parnell, Auckland
Phone (09) 302 1066 • Fax (09) 309 3743 • E-mail: office@lakeeng.co.nz

Calculation Sheet

ABACUS ENGINEERING LTD.
 PO. Box 37 284, Parnell, Auckland
 Tel: 0 9 302 1088 Facsimile: 0 9 300 0743
 Consulting Civil & Structural Engineers

Calcs for 767, Burnside Street	Page No. SK1
Job Temporary Support	Job No.
Designed H. D. Jones	Date 3/10/07





Looking lintel from south to north; deflection approximately 15 to 20mm



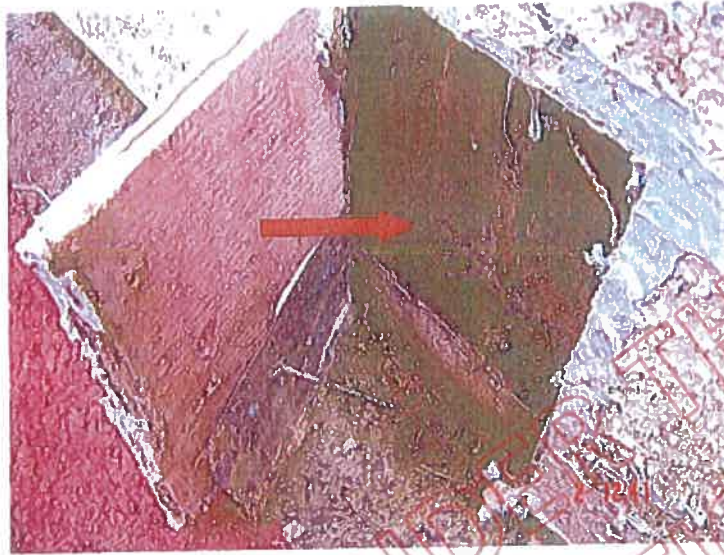
Location of cut out showing decayed metal

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Studs, boundary joist and top plate almost totally decayed

450 x 100 Gypsum linteol almost totally decayed for approx. 1m from south wall

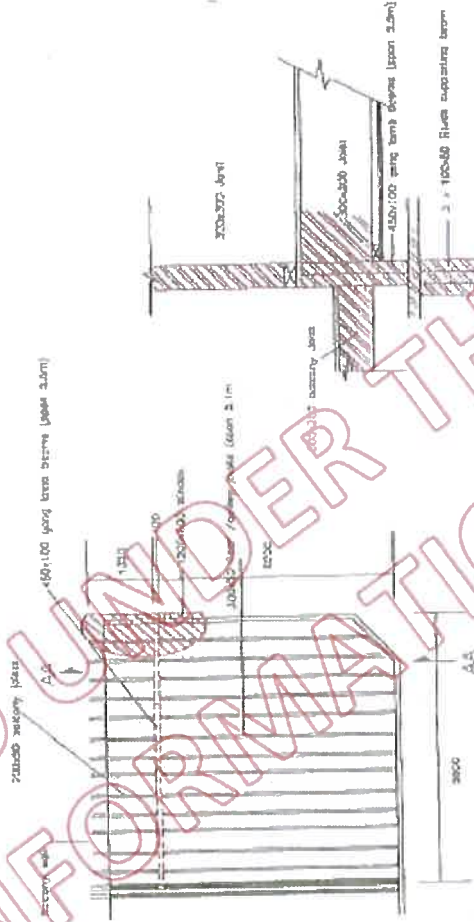


Bottom plate and 3 x 100x50 studs supporting garage beam (studs almost completely decayed).

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7 Tyburn U. C. Detail of beam and floor joists above garage - Claim #05533

Key
Apartment area at this level



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Summary:

Claim Advisor: Belinda Couper
Assessor: Allen Miller
Claim Status: Awaiting Draft Assessment Report
Claim Number: 05533

Areas of concern: Severe decay to the lintel support frame of the garage affecting the deck above

History: 3 September 2007 – Application received at WSG and loaded into database

20 September 2007 – Cheque for \$ 1500 received

27 September 2007 – Allen Miller (assessor) allocated

28 September 2007 – CA spoke with assessor about when he will be on site

2 October 2007 – Willie Kappely received a telephone call from assessor regarding ISF for the garage lintel. Photos to be supplied asap.

4 October 2007 – Photos of damage received from assessor. Structural engineer's report is requested

8 October 2007 – Abacus Engineering Ltd structural engineer's report received

9 October 2007 – Letters drafted to TA, Building Controls, Claimant and Body Corp representative

No risk letters have been previously sent to the claimant

Supporting Information:

- Copy of the Abacus Engineering Ltd structural engineer's report including a sketch outlining the recommended propping
- Photos of the damage to Unit C taken by the Weathertight Services Assessor



RSK 02

Issued 01/10/07

APPENDIX E

Documents to and from Claimant

11 Pages

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Appendix E – Documents from Claimant

E 1 Auckland Home Check Ltd: Building report – Dated 28th February 2007



Date of Inspection 28 February 2007

House Inspection for s 9(2)

HOUSE INSPECTION AT 7D Tyburnia Avenue, Mt Albert.

After my recent inspection at the above property we submit our findings as follows.

The house is approximately 7 years old. Built with a Longrun Zincalume iron roof. Harditex exterior cladding. Aluminium joinery. Particle board mid floor. Concrete ground floor. Concrete and concrete block foundation. The section is retained to near level.

Weather conditions at the time of inspection – Showers Fine

Present at the time of inspection – Tenant

This report contains references to the "moisture content" of internal finishing timber and other timber components of the building. Moisture content is given as a percentage (%). Timber considered "dry" in the building sense, will have a moisture content equal to or less than 16%. Although higher moisture readings may be acceptable in some circumstances, any readings greater than about 18% in a completed building should be investigated further.



Interior

		A	B	C	D	R	MR	
ENTRANCE	Front Door	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Aluminium entry door, 6%
	Walls	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Gib board with paint finish Moisture readings taken at skirting board 4% max Gib board with paint finish
	Ceiling	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Floor Coverings	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Floor tiles
	Cupboard Doors	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	NA
	Windows	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	NA
MASTER BEDROOM	Doors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Walls	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Gib board with paint finish Moisture readings taken at skirting board 5% max Gib board with paint finish
	Ceiling	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Floor Coverings	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Carpet
	Windows	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Moisture readings taken at window frame 4% max
ENSUITE	Doors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Walls	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Gib board with paint finish.
	Toilet	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Floor Coverings	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Floor tiles
	Windows	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Moisture readings taken at window frame 4% max
	Shower	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Seal corner of shower

A- Very Good B-Good C- Will Need Attention Soon D- Needs Attention Now R- Needs Minor Repair MR- Major Repair Required