



*Interior*

		A	B	C	D	R	MR	
<b>BEDROOM 2</b>	Doors	-	☑	-	-	-	-	
	Walls	☑	-	-	-	-	-	Gib board with paint finish Moisture readings taken at skirting board 4% max Gib board with paint finish
	Ceiling	☑	-	-	-	-	-	
	Floor Coverings	-	☑	-	-	-	-	Carpet
	Windows	-	☑	-	-	-	-	Moisture readings taken at window frame 3% max
<b>BEDROOM 3</b>	Doors	☐	☑	☐	☐	☐	☐	
	Walls	☑	☐	☐	☐	☐	☐	Gib board with paint finish Moisture readings taken at skirting board 5% max Gib board with paint finish
	Ceiling	☑	☐	☐	☐	☐	☐	
	Floor Coverings	☐	☑	☐	☐	☐	☐	Carpet
	Windows	☑	☑	☐	☐	☐	☐	Moisture readings taken at window frame 2% max
<b>BEDROOM 4</b>	Doors	-	-	-	-	-	-	NA
	Walls	-	-	-	-	-	-	
	Ceiling	-	-	-	-	-	-	
	Floor Coverings	-	-	-	-	-	-	
	Windows	-	-	-	-	-	-	
<b>BEDROOM 5</b>	Doors	-	-	-	-	-	-	NA
	Walls	-	-	-	-	-	-	
	Ceiling	-	-	-	-	-	-	
	Floor Coverings	-	-	-	-	-	-	
	Windows	-	-	-	-	-	-	

A- Very Good B-Good C- Will Need Attention Soon D- Needs Attention Now R- Needs Minor Repair MR- Major Repair Required



*Interior*

		A	B	C	D	R	MR	
<b>BATHROOM</b>	Doors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Walls	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Gib board with paint finish
	Ceiling	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Gib board with paint finish
	Floor Coverings	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Floor tiles
	Windows	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	NA
	Vanity	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Shower	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Toilet	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Bath	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
<b>LOUNGE</b>	Doors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Franch slider, clean out drain holes and sill
	Walls	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Gib board with paint finish Moisture readings taken at skirting board 2% max
	Ceiling	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Gib board with paint finish
	Floor Coverings	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Carpet
	Windows	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Moisture readings taken at window frame 6% max
<b>DINING</b>	Doors	-	-	-	-	-	-	NA
	Walls	-	<input checked="" type="checkbox"/>	-	-	-	-	Gib board with paint finish
	Ceiling	-	<input checked="" type="checkbox"/>	-	-	-	-	Gib board with paint finish.
	Floor Coverings	-	<input checked="" type="checkbox"/>	-	-	-	-	Carpet
	Windows	-	-	-	-	-	-	NA

A- Very Good B-Good C- Will Need Attention Soon D- Needs Attention Now R- Needs Minor Repair MR- Major Repair Required

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<b>KITCHEN</b>	Doors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	HWC
	Walls	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Gib board with paint finish
	Ceiling	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Gib board with paint finish
	Floor Coverings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Floor tiles
	Windows	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	NA
	Cabinetry	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Metteca
	Bench Tops	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Formica, damage size of 200 piece in top
	Hobb/Oven	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Ceramic, electric, good working order
	Wastemaster	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ranghood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		
<b>LAUNDRY</b>	Doors	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	In garage
	Walls	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Ceiling	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Floor Coverings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Windows	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<b>HALLWAY</b>	Cupboards	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	NA
	Walls	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Ceiling	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Floor Coverings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Windows	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

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*Interior*

		A	B	C	D	R	MR	
<b>STAIRS</b>	Doors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Walls	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Gib board with paint finish
	Ceiling	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Gib board with paint finish
	Floor Coverings	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Carpet
	Windows	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Moisture readings taken at window frame 2%
	Hand Rails	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Timber.
<b>ADDITIONAL ROOMS</b>	Doors	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	NA
	Walls	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Ceiling	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Floor Coverings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Windows	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<b>GARAGE</b>	Doors	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Electric, colour steel
	Walls	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Gib board with paint finish, Moisture readings taken at skirting board 2% max
	Ceiling	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Gib board with paint finish
	Floor Coverings	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Concrete.
	Roof	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Deck above

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*Exterior*

		A	B	C	D	R	MR	
<b>NORTH ELEVATION</b>	Cladding	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Hardtex
	Joinery	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Aluminium
	Base Cladding	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Concrete blockwork
<b>EAST ELEVATION</b>	Cladding	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Harditox
	Joinery	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Aluminium
	Base Cladding	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Concrete blockwork
<b>WEST ELEVATION</b>	Cladding	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Hardtex
	Joinery	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Aluminium
	Base Cladding	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Concrete blockwork
<b>SOUTH ELEVATION</b>	Cladding	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Inter tenancy gib board
	Joinery	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Base Cladding	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

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Exterior

		A	B	C	D	R	MR	
<b>SITE</b>	Slope	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Retained to near level
	Fencing	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Timber
	Paths/Driveways	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Concrete
	Surface Water	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<b>DECKS &amp; STEPS</b>	Material	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Butynol over plywood
	Piles	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	NA
	Joists	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Timber
	Decking	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Decking tiles, one cracked
<b>EAVES</b>	Soffit	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	No soffit
	Fascia	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Timber
	Gutter	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Colour Steel
	Downpipes	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	PVC
<b>ROOF</b>	Material	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Long run Zincalume iron
	Slope	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Low Pitch
	Flashings	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Lead edge Zincalume
	Fixings	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Nails
	Penetrations	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<b>ROOF SPACE</b>	Construction	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Rafters
	Dampness	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Insulation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Insects & Pests	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Rotting Timbers	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

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## Subfloor

		A	B	C	D	R	MR	
<b>SUBFLOOR</b>	Ground Condition	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Concrete floor on ground
	Ventilation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Piles	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Bearers	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Joists	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Foundation Walls	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Concrete block work
	Insulation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

## Services

		A	B	C	D	R	MR	
<b>ELECTRICAL</b>	Wiring	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Fittings	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	All in good working condition
	Switchboard	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
<b>PLUMBING</b>	Feed Pipes	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Butylene
	Taps & Fittings	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	All in good working condition
	Waste Pipes	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	PVC
	Gully Traps	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Hot Water Cylinder	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	160lt 2000, electric

A - Very Good B Good C - Will Need Attention Soon D - Needs Attention Now R - Needs Minor Repair MR - Major Repair Required



## *Conclusion*

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The property is in average condition for its age.

Check for Code of Compliance

Moisture readings taken on the exterior walls were all good and well within acceptable limits.

The interior of the house is in good condition.

The iron roof is in good condition

The roof structure is dry and appears to be free of rust, rot, or borers.

The ceiling space could not be checked for insulation.

The electricians are all in good working order.

The plumbing is all in good working order.



## *Recommendation*

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**Keep drain holes in the aluminium joinery door and ranchslider sills clean and free of debris, to help prevent leakage.**

**The formica benchtop has a damaged area the size of a 20 cent piece.**

**One tile on the deck is cracked.**

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**APPENDIX F**

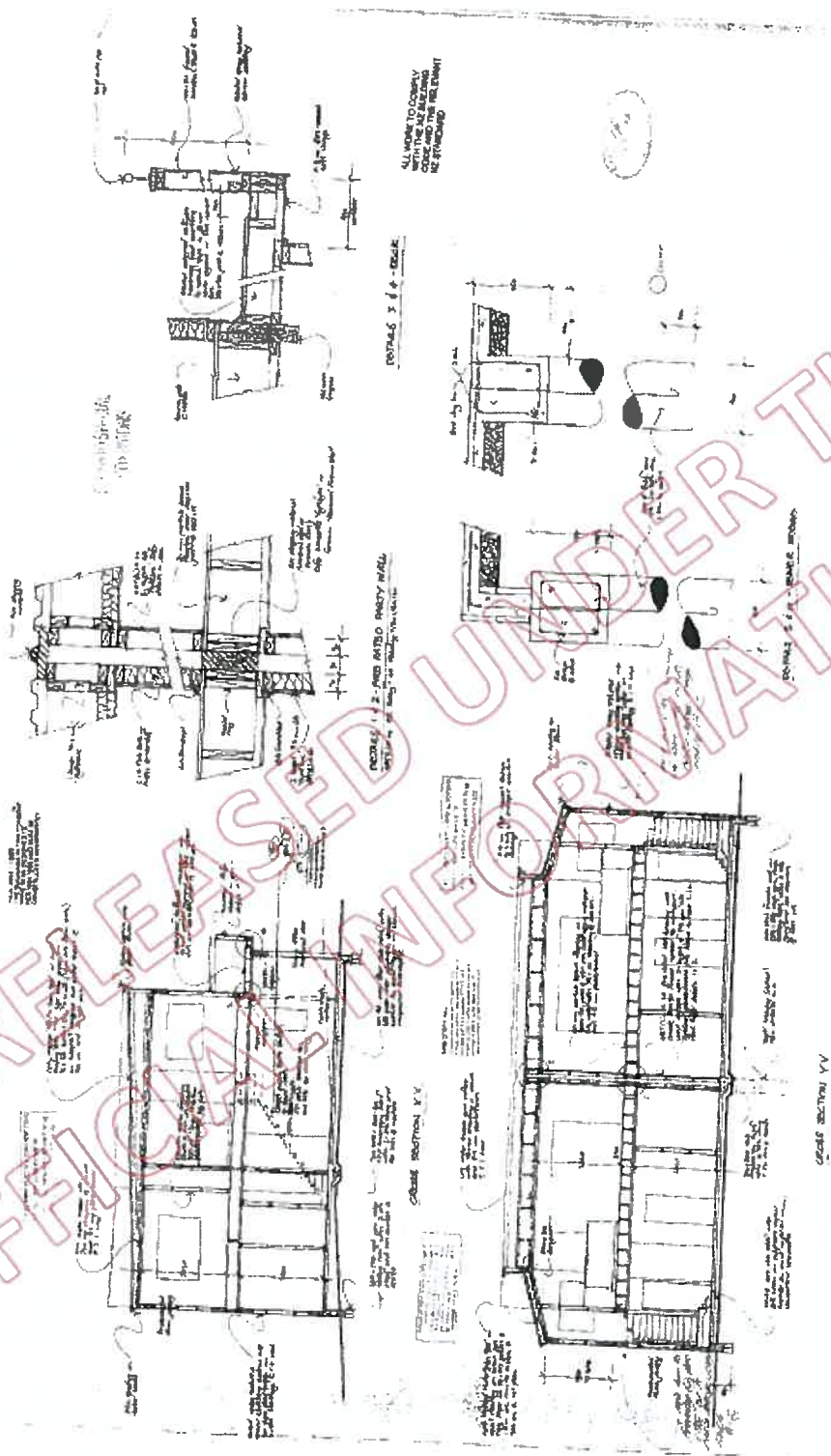
**Drawings and Relevant Specifications**

**5 Pages**

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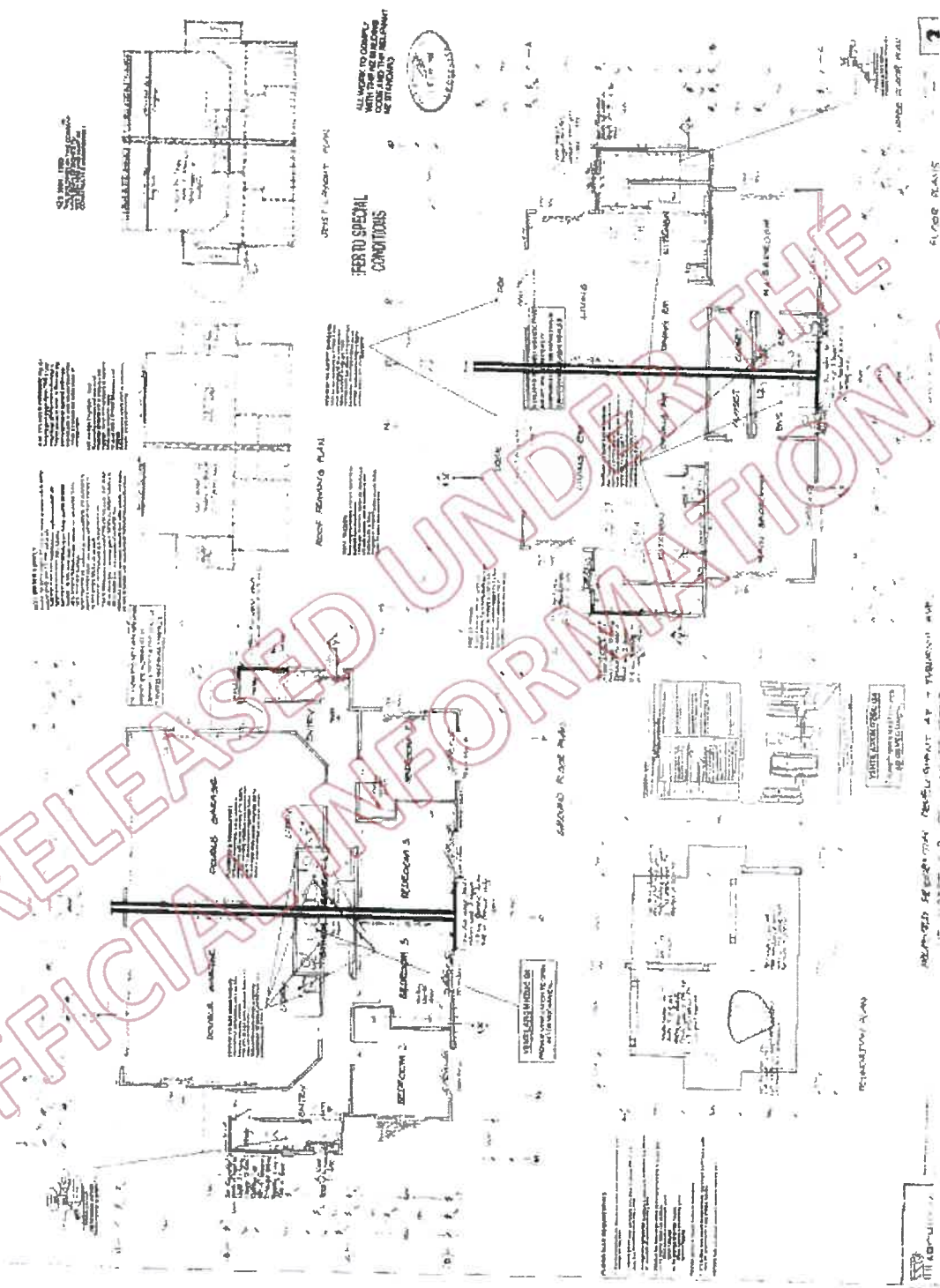


PROPOSED RESIDENTIAL DEVELOPMENT AT 7 THURLOW AVE,  
47 MARKET AND ST JAMES PROVISIONS

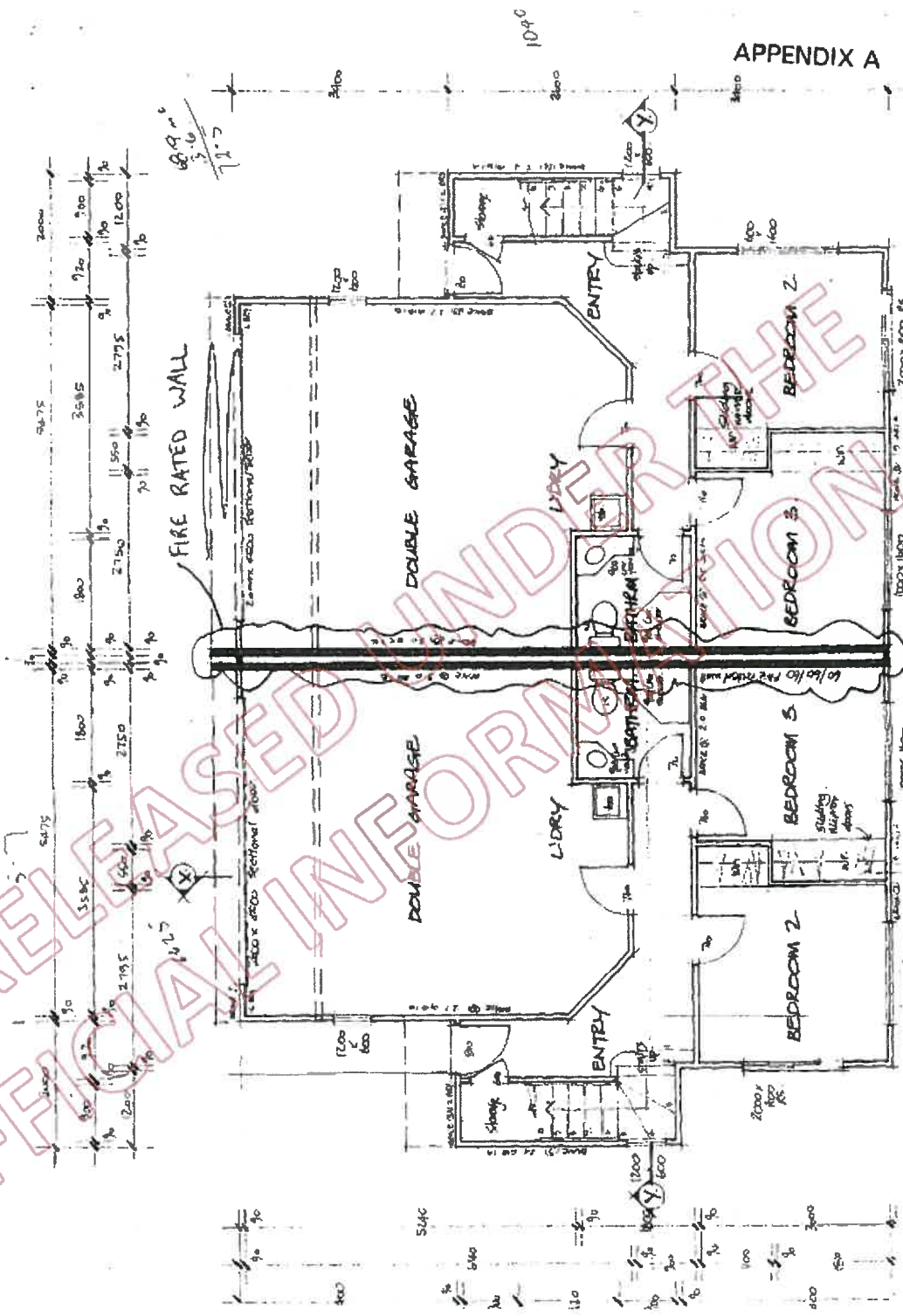
CROSS SECTIONS

4

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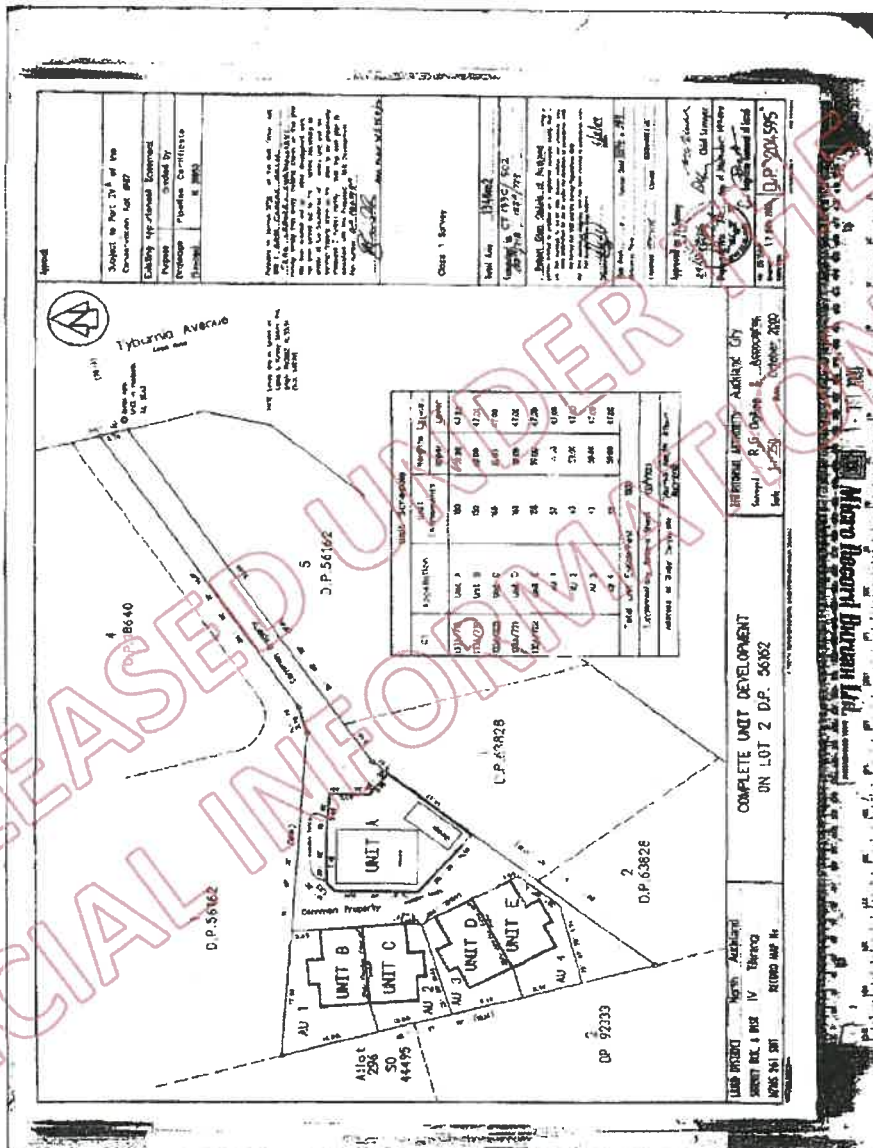


APPENDIX A



Identifier

NA133A/719



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Transaction Id 18440334  
Client Reference rbruchanan003

Search Copy Dated 1/10/07 3:38 pm Page 3 of 3  
Registrar Only

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## Appendix G– Photographs

### Schedule of Photographs

<b>Photo Elevation &amp; Number</b>	<b>Page No,</b>	<b>Description</b>
<b>Elevation 1e</b>		
1e - 1	119	General view front
1e - 2	120	Cut out and high moisture reading at south east corner of balcony wall
1e - 3	120	High moisture reading at east balcony wall
1e - 4	121	High moisture reading at south east corner of balcony wall
1e - 5	121	High moisture reading at centre of eastern balcony wall
1e - 6	122	High moisture reading at wing wall junction
1e - 7	122	High moisture reading at base of wing wall
1e - 8	123	North wall / balcony junction – no saddle flashing
1e - 9	123	Open mitre at corner of timber balcony capping
1e - 10	124	Photograph showing incorrectly installed hand rail stanchion
1e - 11	124	Inter-storey H mould terminates at end of head flashing
1e - 12	125	Inter-storey H mould terminates mid sheet at wing wall
1e – 12/1	126	Photograph showing cladding hard down on balcony floor tiles
<b>Elevation 1d</b>		
1d – 13	127	General view of Units D & E roves showing damage
1d – 14	127	General view of Units D: note water ponding on flat cap flashing
1d – 15	128	Badly designed parapet cap junction
1d – 16	128	Open joint at fascia wing wall junction
1d – 17	129	Vertical cracking at internal wall junction
1d – 18	130	Vertical cracking at internal wall junction at inter-storey
1d – 19	131	Inter-storey H mould terminates at end of head flashing
1d – 20	132	Total joint failure at sliding door jamb; left side
1d – 21	133	Inter-storey H mould terminates at end of head flashing: note large gap
1d – 22	134	Total joint failure at sliding door jamb; right side
1d – 23	135	High moisture reading at east balcony wall junction
1d – 24	135	High moisture reading at north east corner of balcony wall
1d – 25	136	High moisture reading at wing wall - balcony wall junction
1d – 26	136	High moisture reading at wing wall above balcony wall junction
1d – 27	137	High moisture reading at wing wall below inter-storey
1d – 28	137	High moisture reading at base of wing wall
1d – 29	138	Close up of wing wall balcony cap junction: point of water entry
1d – 30	138	Close up of wing wall inter-storey H mould termination (Refer 1d – 27)
1d – 31	139	Photograph showing badly fixed jointer
1d – 32	139	High moisture reading at right side of sliding door head; (ref. d – 121)
1d – 33	140	High moisture reading at top of north east corner
1d – 34	140	High moisture reading at 600mm below top of north east corner
1d – 35	141	High moisture reading at north east corner above balcony wall
<b>Elevation 1c</b>		
1c – 36	142	General view of Units B roves showing insufficient parapet cap height
1c – 37	142	General view of Units C roves showing insufficient parapet cap height
1c – 38	143	Badly designed parapet cap junction
1c – 39	143	Cut out at top front corner of wing wall showing fungal decay; (cut out No. 3)
1c – 40	144	Cut out and high probe at top front corner of wing wall showing fungal decay
1c – 41	144	Cut out and high probe at the base of the wing wall showing fungal decay
1c – 42	145	Wing wall capping showing cap flashing barely covering cladding
1c – 43	145	Timber capping showing open mitre joint
1c – 44	146	High moisture reading at east wall/ balcony wall junction
1c – 45	146	High moisture reading at wing wall/balcony wall junction
1c – 46	147	High moisture reading at south east corner of balcony wall
1c – 47	147	Open mitre at south east corner of balcony wall e
1c – 48	148	High moisture reading at centre of balcony wall
1c – 49	148	High moisture reading near the centre of balcony wall
1c – 50	149	High moisture reading at wing wall/balcony wall junction
1c – 51	149	Inter-storey H mould terminates at end of sliding door head flashing
1c – 52	150	Poorly designed and fitted balcony drainage overflow outlet

<b>Photo Elevation &amp; No</b>	<b>Page No</b>	<b>Description</b>
1c – 53	151	Joint failure at sliding door jamb; right side
1c – 54	152	Photograph showing unsealed junction between balcony wall and timber capping
1c – 55	152	High moisture reading; top of balcony wall at inter-tenancy
1c – 56	153	High moisture reading at north east corner of balcony wall
1c – 57	153	No ground clearance between cladding and paving, front
1c – 58	154	No ground clearance between cladding and paving, north side
<b>Elevation 1b</b>		
1b – 59	155	Cap flashing at inter-tenancy wall
1b – 60	155	High moisture reading; near top of wing wall
1b – 61	156	High moisture reading; top of balcony wall at inter-tenancy
1b – 62	156	High moisture reading; top of balcony wall, north east corner
1b – 63	157	Joint failure at sliding door jamb; right side
1b – 64	158	Inter-storey H mould terminates at end of sliding door head flashing
1b – 65	159	Photograph showing joint failure above sliding door
1b – 66	160	Open and unprotected mitre at north east corner
1b – 67	160	Photograph showing balcony cap/wing wall junction
<b>Elevation 2b</b>		
2b – 68	161	High moisture reading; top of balcony wall, north wall junction
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2b – 70	162	Cut out and probe to north wall at inter-storey
2b – 71	163	Cut out to north wall at inter-storey showing decayed garage beam
2b – 72	164	Inter-storey H mould terminates at end of sliding door head flashing
2b – 73	164	Photograph showing inter-storey H mould terminating mid sheet
2b – 74	165	High moisture reading; at north wall, west corner at inter-tenancy
<b>Elevation 3b</b>		
3b – 75	166	General view of west elevation; Units B and C
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3b – 77	167	Photograph showing roof apron, point of water entry
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3b – 79	168	High moisture reading; above inter-storey; (see also photograph 3b 81)
3b – 80	168	High moisture reading; 200mm above base
3b – 81	169	Cut out and high moisture reading at north west corner, (Ref 3b 79)
3b – 82	170	Cut out at north west corner; close up
<b>Elevation 3c</b>		
3c – 83	171	High moisture reading west wall, at bathroom waste
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<b>Elevation 3d</b>		
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3d – 86	172	Close up of photograph: 3d 85
3d – 87	173	General view of roof and spouting; rear wall
3d – 88	173	Cut out and high moisture reading north west corner of stair well
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3d – 90	174	Cut out and high moisture reading at north west corner at inter-storey
3d – 91	175	Close up of cut out showing total decay (See 3d 90)
3d – 92	176	Sample form cut out showing fungal hyphae on Harditex™
3d – 93	176	High probe reading at north west corner below inter-storey
3d – 94	177	High moisture reading; 200mm above base at north west corner
3d – 95	177	Rear wall showing unsealed extractor fan vent cover
3d – 96	178	Photograph showing head flashing unsealed
<b>Elevation 3e</b>		
3e – 97	179	Photograph showing roof apron poorly finished, point of water entry
3e – 98	179	Close up of photograph: 3d 97
3d – 99	180	High moisture reading; near top of west wall below fascia
3e – 100	180	West wall showing sheet joint failure, and incorrect sheet joins
3e – 101	181	West wall showing sheet joint failure
<b>Elevation 4c</b>		
4c – 102	182	Cut out and high moisture reading; south east corner at lounge window head
4c – 103	182	Close up of photograph: 4c 102 showing decay
4c – 104	183	Cut out and probe below top of balcony wall and south wall junction
4c – 105	183	Cut out and probe below at base of south wall
4c – 106	184	Close up of 4c 105 showing decay to bottom plate and frame
4c – 107	185	South wall showing sheet joint failure internal corner adjacent to front entry
4c – 108	186	South wall showing sheet joint failure left of garage window

<b>Photo Elevation &amp; No</b>	<b>Page No</b>	<b>Description</b>
<b>Elevation 5d</b>		
5d – 109	187	High probe reading at north east corner at inter-storey
5d – 110	187	Cut out at north east corner below inter-storey
5d – 111	188	Cut out and probe reading at top of living room window
5d – 112	188	Cut out and probe below top of balcony wall and north wall junction
5d – 113	189	Close up of 5d 112 showing advanced decay; no saddle flashing
5d – 114	189	Cut out and probe reading at inter-storey below living room window
5d – 115	190	Close up of 5d 114 showing advanced decay below living room window
5d – 116	190	North wall showing incorrect sheet configuration and joint failure
5d – 117	191	Cut out and probe reading at base below garage window
5d – 118	191	Close up of 5d 117 showing advanced decay
<b>Elevation 6e</b>		
6e – 119	192	Cut out and probe below top of balcony wall and south wall junction
6e – 120	192	Cut out and probe reading at inter-storey below living room window
6e – 121	193	Cut out at base below garage window showing early decay
6e – 122	194	Joint failure at south west corner; note incorrect ground clearance
<b>Internal photographs</b>		
Internal- c 123	195	Photograph showing total decay to 450x100mm garage beam
Internal- c 124	195	Close up of; Internal- c 123
Internal- c 125	196	Photograph showing slump to garage ceiling (approx 50mm)
Internal- c 126	196	Photograph showing decay to balcony joists and ply substrate
Internal- c 127	197	High moisture reading to garage beam support framing
Internal- c 128	197	Photograph showing fungal decay to balcony joists and ply substrate
Internal- c 129	198	Location of garage cut outs by others
Internal- d 130	198	High moisture reading to garage ceiling framing and ply substrate
Internal- d 131	199	Location of garage cut out
Internal- d 132	199	Damage to living room ceiling due to roof leak
Internal- c 133	200	Water damage to living room ceiling due to roof leak
Internal- e 134	200	High moisture reading to garage ceiling, ply substrate

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East (Front) Elevation 1 – Units E, D, B, C

Unit d  
Photograph 1e 1



General view of front elevation

Elevation 1 - Unit E

Photograph 1e 2



Cut out and probe reading at south east corner of balcony wall (Laboratory sample 9)

Photograph 1e 3



Very high probe moisture reading at east wall balcony wall junction (note: no saddle flashing at junction); note also corroded handrail stanchion incorrect application

Photograph 1e 4



Very high probe moisture reading at south east corner of balcony wall

Photograph 1e 5



Very high probe moisture reading at centre of eastern balcony wall; note incorrect installation of hand rail stanchion

Photograph 1e 6



Very high probe moisture reading above balcony capping – wing wall junction; note no saddle flashing at this junction, note incorrect installation of hand rail stanchion

Photograph 1e 7



Very high probe moisture reading at base of wing wall; note cladding has insufficient clearance above tiled balcony floor

Photograph 1e 8



North wall – balcony wall junction (note: no saddle flashing at junction).

Photograph 1e 9



Top of balcony wall at south east corner; note corroded hand rail stanchions and open mitre to timber capping, mitre has no weather protection



Photograph 1e 10



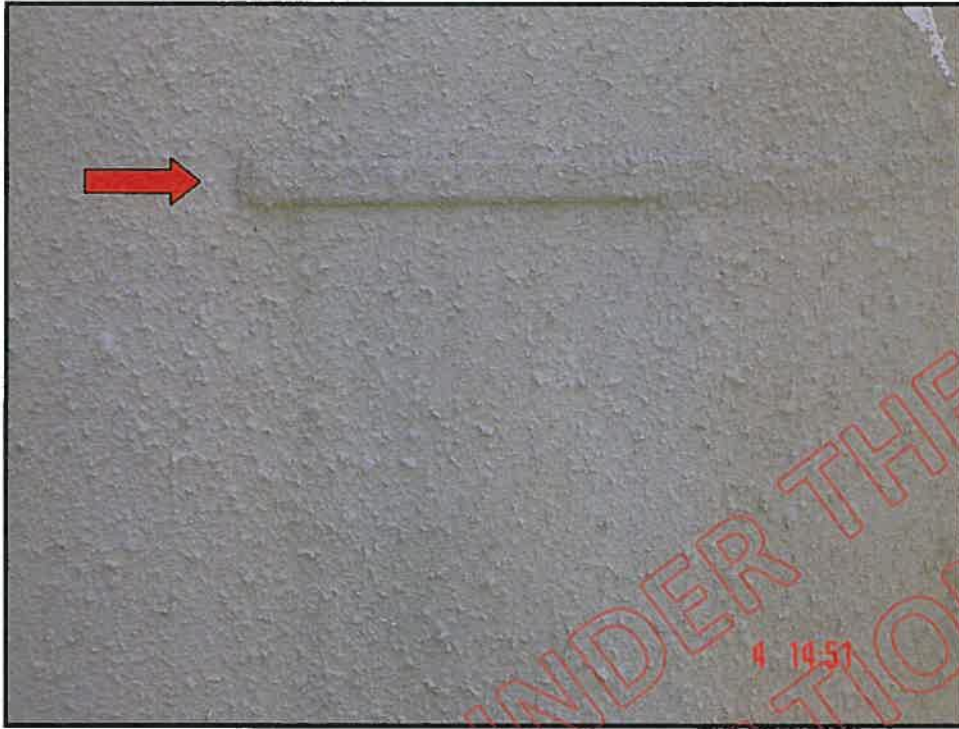
Eastern balcony wall showing incorrectly installed corroded hand rail stanchions

Photograph 1e 11



Incorrectly placed inter-storey joint butting into balcony door head flashing; note gap at join and hole with bare harditex under head flashing

Photograph 1e 12



Inter- storey join finishes mid sheet at wing wall

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Photograph 1e 12/1



East wall shows cladding finishing hard down onto tiled balcony floor

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**Unit D**  
**Photograph 1d 13**



General view of roof units D and E showing damage to the profile due possibly to incorrect walking

**Photograph 1d 14**



General view of roof unit D: note water ponding on flat cap flashing

Photograph 1d 15



Badly designed cap flashing / wing wall flashing: note corrosion at and below vertical joint

Photograph 1d 16



Open joint where timber fascia abuts wing wall cladding

Photograph 1d 17



Vertical cracking at east wall / wing wall junction; allows moisture ingress

Photograph 1d 18



Vertical cracking at east wall / wing wall junction: note inter-storey joint terminates at wing wall face, allows moisture ingress

Photograph 1d 19



Inter-storey joint butts up to balcony door head flashing left hand side. Open joint is allowing moisture ingress

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Photograph 1d 20



Total joint failure at balcony door jamb, left hand side; note no flashings, seals and raw Harditex

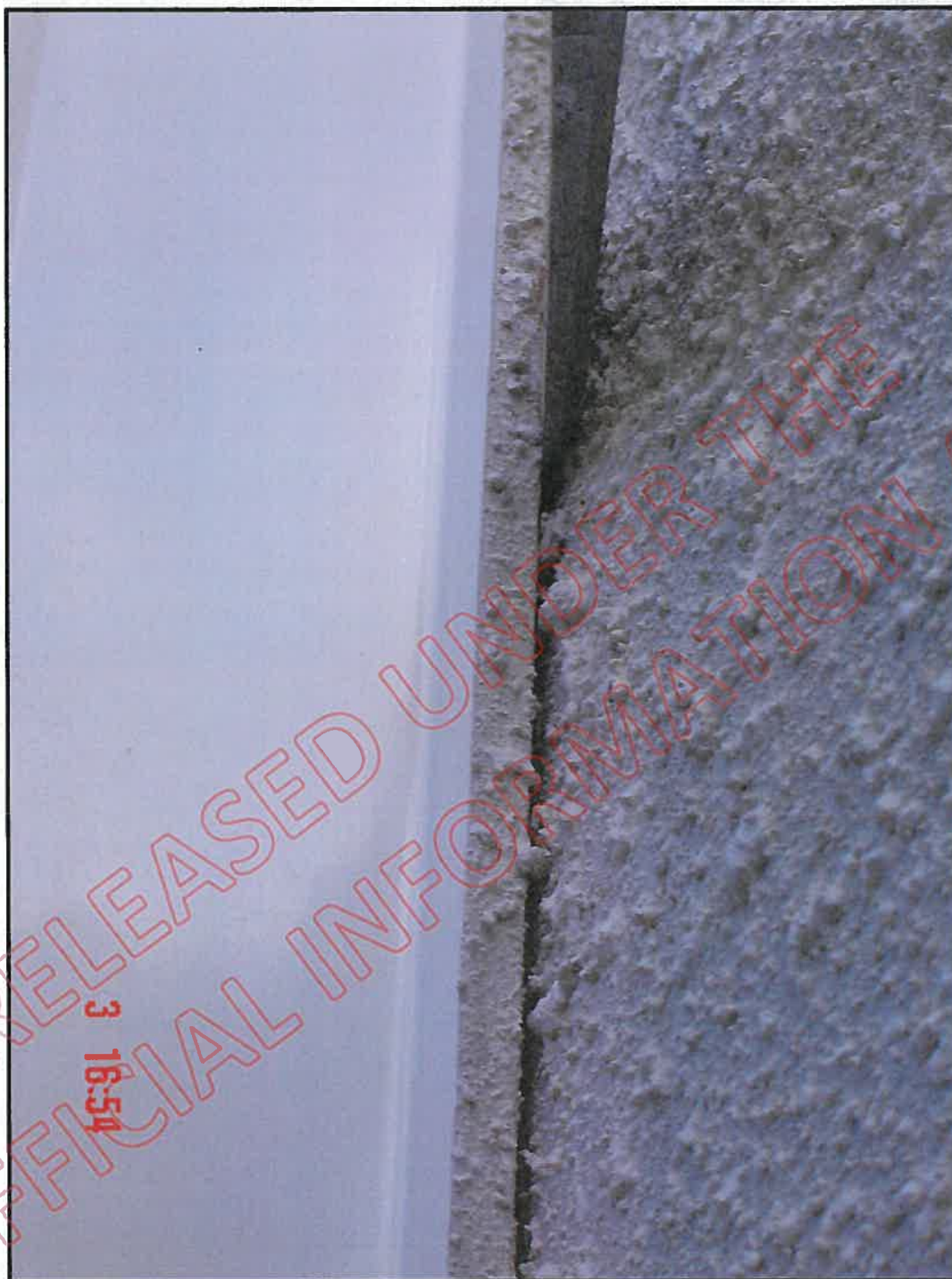
Photograph 1d 21



Inter-storey joint butts up to balcony door head flashing right hand side; Open joint is allowing moisture ingress

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Photograph 1d 22



Joint failure at balcony door jamb, right hand side; note no flashings or seals

Photograph 1d 23



Very high probe moisture reading at east wall balcony wall junction (note: no saddle flashing at junction); note also corroded handrail stanchion incorrect application

Photograph 1d 24



Very high probe moisture reading at north east corner balcony wall junction (note: open and unprotected mitre joint); note also corroded handrail stanchion and incorrect application

Photograph 1d 25



Very high probe moisture reading at wing wall balcony wall junction (note: no saddle flashing at junction); note also corroded handrail stanchion and incorrect application

Photograph 1d 26



Very high probe moisture reading above wing wall balcony wall junction

Photograph 1d 27



High probe moisture reading below inter-storey at front face of wing wall: note inter-storey joint terminates at mid sheet: end of mould is open allowing moisture ingress

Photograph 1d 28



High probe moisture reading at base of wing wall/balcony junction

Photograph 1d 29



Close up of wing wall balcony wall cap junction showing point of water entry

Photograph 1d 30



Close up of wing wall balcony showing inter-storey moulding open end, point of water entry; note joint failure below inter-storey; refer photograph (d27)

Photograph 1d 31



Photograph showing poorly fixed jointer, jointer has dropped and allowing moisture ingress

Photograph 1d 32



High probe moisture reading at right side of balcony sliding door head flashing; refer photograph 1d 21



Photograph 1d 33



High probe moisture reading at north end of east wall 200mm below fascia

Photograph 1d 34



Very high probe moisture reading at north end of east wall 600mm below fascia

Photograph 1d 35



High probe moisture reading at north end of east wall above balcony wall hand rail

Unit C

Photograph 1c 36



General view of unit B roof showing insufficient height to east and side parapet walls; note also poor cap joints

Photograph 1c 37



General view of unit C roof showing insufficient height to east and side parapet walls

Photograph 1c 38



Badly designed cap flashing / wing wall flashing: note copious amount of exposed sealant applied in an attempt to achieve weathertightness, note also open lap joint

Photograph 1c 39



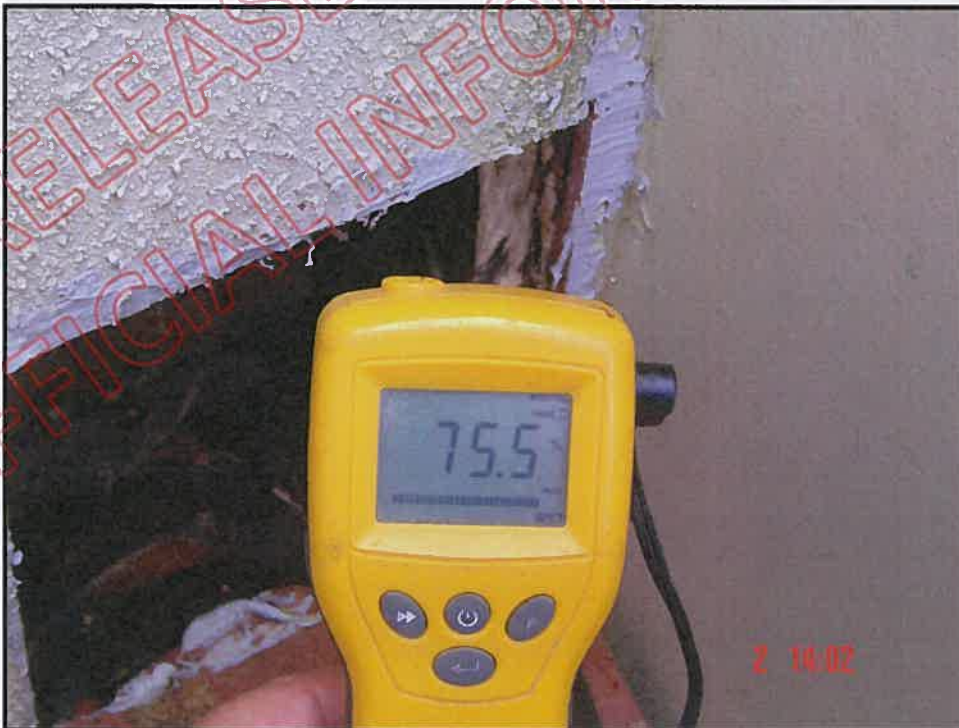
Cut out at top front corner of wing wall showing advanced decay; refer laboratory sample (3)

Photograph 1c 40



Cut out and very high probe moisture reading at top front corner of wing wall showing advanced decay; point of water entry is poorly designed and fitted wing wall cap flashing

Photograph 1c 41



Cut out and very high probe moisture reading at the base of the front of the wing wall showing advanced decay; refer laboratory sample (2)

Photograph 1c 42



Wing wall cap flashing showing cap barely covering Harditex; note wall should be textured prior to fitting cap flashing, Harditex not sealed at sheet edges as required

Photograph 1c 43



Open and unprotected spliced joint in timber capping

Photograph 1c 44



Very high probe moisture reading at east wall / wing wall junction: note no saddle flashing at balcony / wing wall junction

Photograph 1c 45



Very high probe moisture reading at balcony wall / wing wall junction: note no saddle flashing at balcony / wing wall junction

**Photograph 1c 46**



Very high probe moisture reading at south east corner balcony wall junction (note: open and unprotected mitre joint); note also corroded handrail stanchion and incorrect application

**Photograph 1c 47**



Close up of open and unprotected mitre joint at south east corner of balcony wall); note also corroded handrail stanchion and incorrect application



Photograph 1c 48



Very high probe moisture reading at centre of balcony wall

Photograph 1c 49



Very high probe moisture reading near to the centre of balcony wall

Photograph 1c 50



Very high probe moisture reading top of balcony wall adjacent to the wing wall; note no saddle flashing at balcony / wing wall junction

Photograph 1c 51



Inter-storey joint butts up to balcony door head flashing left hand side; Open joint is allowing moisture ingress

Photograph 1c 52



Inadequately designed and fitted balcony drainage overflow

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Photograph 1c 53



Failed jamb seal at right hand side of balcony door

Photograph 1c 54



Looking up under timber balcony wall cap: note junction not sealed

Photograph 1c 55



Very high probe moisture reading at eastern face of balcony wall at wing wall

Photograph 1c 56



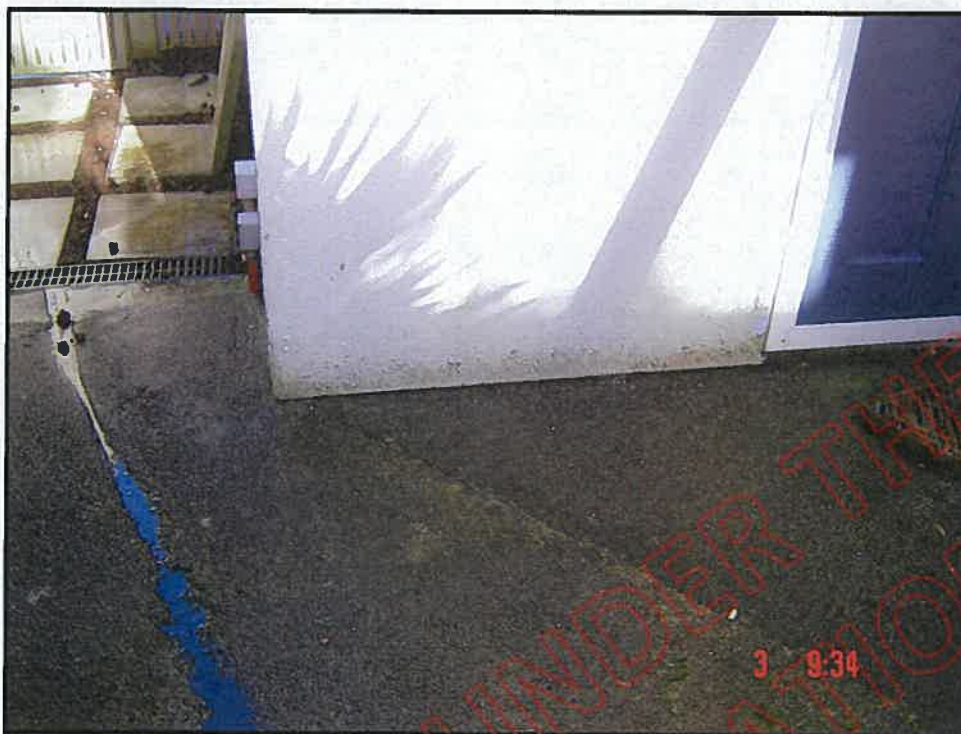
Very high probe moisture reading at north east corner balcony wall adjacent to garage door head, right hand side

Photograph 1c 57



Photograph showing cladding extending to paving; should have minimum of 100mm clearance

Photograph 1c 58



Photograph showing cladding extending to paving; should have minimum of 100mm clearance