

Property and Tenancy Inspection Report



TENANCY REFERENCE NUMBER		PROPERTY REFERENCE NUMBER	
		HSS0017766	
TENANT NAME(S)			
PROPERTY ADDRESS			
HSS 78 HAMILL RD OTARA MANUKAU 2023			
HOME PHONE		MOBILE PHONE	
INSPECTION TYPE	VACATED	INSPECTION DATE	9-Jul-2019
		START TIME	09-Jul-2019 10:55 AM
		END TIME	10-Jul-2019 11:42 AM
BUSINESS ACTION REFERENCE			
TENANCY START DATE		TENANCY DURATION	
		Year Months	
TENANCY NOTES			
HOUSEHOLD MEMBER INFORMATION			
HOUSEHOLD MEMBER INFORMATION CHANGED		No	

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LIVING 1

ROOM CONFIGURATION		OVERALL ROOM CONDITION		
Living/Dining		Good		
WINDOW JOINERY		WINDOW COVERINGS	FLOOR FINISH	
Wood		Present	Carpet	
FORM OF HEATING 1		FORM OF HEATING 2		
Panel Heater - Electric		N/A		
IS SMOKE DETECTOR WORKING?	Yes	ISSUE	DAMAGE	TENANT LIABLE
IS SMOKE DETECTOR POSITIONED CORRECTLY?	Yes			
DISABILITY MODIFICATIONS				
SPACE ISSUES				
PHOTOS				



Appendix 1



Appendix 2



Appendix 3



Appendix 4



Appendix 5

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DINING 2

ROOM CONFIGURATION

Dining

OVERALL ROOM CONDITION

Good

WINDOW JOINERY

Wood

WINDOW COVERINGS

Present

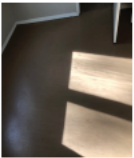
FLOOR FINISH

Vinyl

DISABILITY MODIFICATIONS

SPACE ISSUES

PHOTOS



Appendix 6



Appendix 7



Appendix 8



Appendix 9



Appendix 10



Appendix 11

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KITCHEN 1

ROOM CONFIGURATION	OVERALL ROOM CONDITION
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Kitchen	Average
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WINDOW JOINERY	WINDOW COVERINGS	FLOOR FINISH
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Wood	Absent	Vinyl
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MEANS OF COOKING 1	MEANS OF COOKING 2	VENTILATION
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Stove Electric	N/A	Rangehood
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IS THERE SECURE STORAGE?	ISSUE	DAMAGE
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Present		
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IS ANTI-TIP DEVICE WORKING CORRECTLY?	ISSUE	DAMAGE	TENANT IABLE
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Yes			
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DISABILITY MODIFICATIONS

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SPACE ISSUES

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PHOTOS



Appendix 12



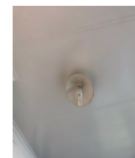
Appendix 13



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ENTRY/HALLWAY 1

ROOM CONFIGURATION	OVERALL ROOM CONDITION
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Entry/Hallway	Good
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WINDOW JOINERY	WINDOW COVERINGS	FLOOR FINISH
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No windows	Present	Carpet
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FORM OF HEATING	Absent
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IS SMOKE DETECTOR WORKING?	Yes	ISSUE	DAMAGE	TENANT LIABILITY
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IS SMOKE DETECTOR POSITIONED CORRECTLY?	Yes			
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DISABILITY MODIFICATIONS

SPACE ISSUES

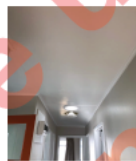
PHOTOS



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BEDROOM 1

ROOM CONFIGURATION	OVERALL ROOM CONDITION
Bedroom/Bathroom/Toilet	Good

WINDOW JOINERY	WINDOW COVERINGS	FLOOR FINISH
Wood	Present	Carpet

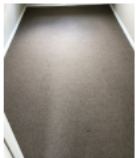
FORM OF HEATING	STORAGE TYPE
Absent	Wardrobe with Shelf & Rod

IS SMOKE DETECTOR WORKING?	Yes	ISSUE	DAMAGE	TENANT LIABLE
IS SMOKE DETECTOR POSITIONED CORRECTLY?	Yes			

DISABILITY MODIFICATIONS

SPACE ISSUES

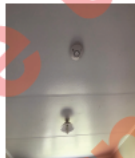
PHOTOS



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Appendix 24



Appendix 25



Appendix 26



Appendix 27



Appendix 28

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BEDROOM 2

ROOM CONFIGURATION	OVERALL ROOM CONDITION
Bedroom/Bathroom/Toilet	Good

WINDOW JOINERY	WINDOW COVERINGS	FLOOR FINISH
Wood	Present	Carpet

FORM OF HEATING	STORAGE TYPE
Absent	Wardrobe with Shelf & Rod

IS SMOKE DETECTOR WORKING?	Yes	ISSUE	DAMAGE	TENANT LIABLE
IS SMOKE DETECTOR POSITIONED CORRECTLY?	Yes			

DISABILITY MODIFICATIONS

SPACE ISSUES

PHOTOS



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BEDROOM 3

ROOM CONFIGURATION	OVERALL ROOM CONDITION
Bedroom/Bathroom/Toilet	Good

WINDOW JOINERY	WINDOW COVERINGS	FLOOR FINISH
Wood	Present	Carpet

FORM OF HEATING	STORAGE TYPE
Absent	Wardrobe with Shelf & Rod

IS SMOKE DETECTOR WORKING?	Yes	ISSUE	DAMAGE	TENANT LIABLE
IS SMOKE DETECTOR POSITIONED CORRECTLY?	Yes			

DISABILITY MODIFICATIONS

SPACE ISSUES

PHOTOS



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BATHROOM 1

ROOM CONFIGURATION	OVERALL ROOM CONDITION
Bathroom	Good
WINDOW JOINERY	FLOOR FINISH
Wood	Vinyl
STORAGE TYPE	VENTILATION
Upper Cabinet	Present
BATH	TYPE OF SHOWER
Present	Shower Over Bath

DISABILITY MODIFICATIONS

SPACE ISSUES

PHOTOS



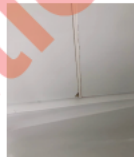
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Appendix 6



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TOILET 1

ROOM CONFIGURATION

Toilet

OVERALL ROOM CONDITION

Good

WINDOW JOINERY

Wood

FLOOR FINISH

Vinyl

DISABILITY MODIFICATIONS

SPACE ISSUES

PHOTOS



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LAUNDRY 1

ROOM CONFIGURATION	OVERALL ROOM CONDITION
Laundry	Good
WINDOW JOINERY	FLOOR FINISH
Wood	Vinyl
STORAGE TYPE	
Childproof	

DISABILITY MODIFICATIONS

SPACE ISSUES

PHOTOS



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PROPERTY EXTERIOR 1

OVERALL EXTERIOR CONDITION

Average

CAR PARKING

Off-Street Parking

DRIVEWAY

Present

OUTDOOR LIVING SPACE

Absent

SECURE PLAY AREA

Present

ARE ALL ENVIRONMENTAL FACTORS SAFE?

Yes

ACTION TO BE TAKEN

DISABILITY MODIFICATIONS

SPACE ISSUES

PHOTOS



Appendix 44



Appendix 45



Appendix 46



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Appendix 48



Appendix 49



Appendix 50



Appendix 51



Appendix 52



Appendix 53



Appendix 54



Appendix 55



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Property and Tenancy Inspection Report



OVERALL PROPERTY INFORMATION

WHEELIE/REFUSE BIN STATE	N/A	WHEELIE/REFUSE BIN STATE NOTES
RECYCLING BIN STATE	N/A	RECYCLING BIN STATE NOTES
KEYS MISSING/NOT RETURNED	No	KEYS MISSING/NOT RETURNED NOTES
PEST PRESENT	No	PEST PRESENT NOTES

ADDITIONAL NOTES

Property was tidy, some wear and tear work to be done, some rubbish left behind outside, crack window in garage.

PHOTOS

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AUTO LET JOB INFORMATION

ACCESS NOTES	ADDITIONAL ACCESS NOTES	IS SMOKE DETECTOR WORK URGENT?
Anytime		

AUTO LET JOB DESCRIPTION

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Appendix 1
Living 1



Appendix 2
Living 1



Appendix 3
Living 1



Appendix 4
Living 1

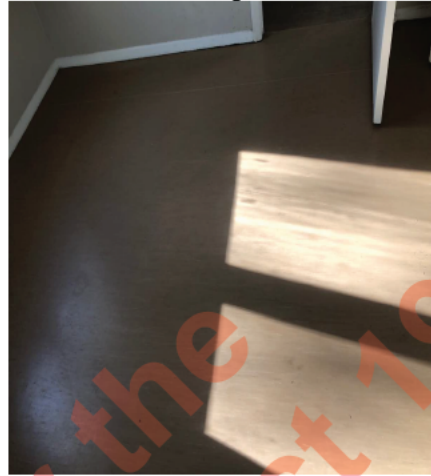


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Appendix 5
Living 1



Appendix 6
Dining 2



Appendix 7
Dining 2



Appendix 8
Dining 2



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Appendix 9
Dining 2



Appendix 10
Dining 2



Appendix 11
Dining 2



Appendix 12
Kitchen 1



Official Information Act 1982

Appendix 13
Kitchen 1



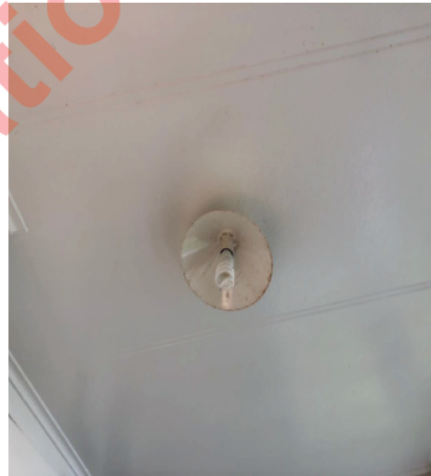
Appendix 14
Kitchen 1



Appendix 15
Kitchen 1



Appendix 16
Kitchen 1



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Appendix 17
Kitchen 1



Appendix 18
Kitchen 1



Appendix 19
Kitchen 1



Appendix 20
Entry/Hallway 1

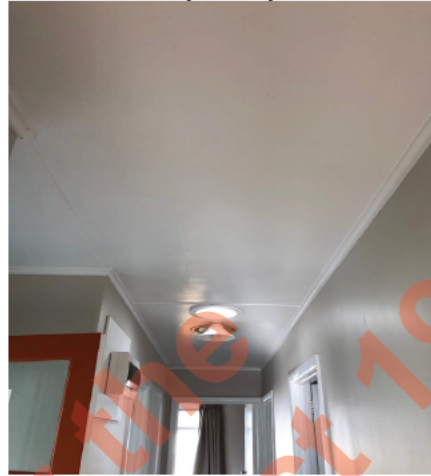


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Appendix 21
Entry/Hallway 1



Appendix 22
Entry/Hallway 1



Appendix 23
Bedroom 1



Appendix 24
Bedroom 1



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Appendix 25
Bedroom 1



Appendix 26
Bedroom 1



Appendix 27
Bedroom 1



Appendix 28
Bedroom 1



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Appendix 29
Bedroom 2



Appendix 30
Bedroom 2



Appendix 31
Bedroom 2



Appendix 32
Bedroom 3



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Appendix 33
Bedroom 3



Appendix 34
Bathroom 1



Appendix 35
Bathroom 1



Appendix 36
Bathroom 1



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Appendix 37
Bathroom 1



Appendix 38
Toilet 1



Appendix 39
Toilet 1



Appendix 40
Toilet 1



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Appendix 41
Laundry 1



Appendix 42
Laundry 1



Appendix 43
Laundry 1



Appendix 44
Property Exterior 1



Official Information Act 1982

Appendix 45
Property Exterior 1



Appendix 46
Property Exterior 1



Appendix 47
Property Exterior 1



Appendix 48
Property Exterior 1



Official Release under Access to Information Act 1982

Appendix 49
Property Exterior 1



Appendix 50
Property Exterior 1



Appendix 51
Property Exterior 1



Appendix 52
Property Exterior 1



Official Case Information AC 982

Appendix 53
Property Exterior 1



Appendix 54
Property Exterior 1



Appendix 55
Property Exterior 1



Appendix 56
Property Exterior 1



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Maintenance Work Order Details

WO Ref	3501467/1	Status	COM
Prop Ref	HSS0017766	Address	78 Hamill Rd, Otara, Manukau, 2023
Description	AVP - S Category Void Scope for vacated work (property is not tenanted) VS Mary Penisio 9(2)(a)		

Seq	Ver-sion	SOR Code	Description and Comments	Qty	UOM	Est Cost	Loc	Lia
5	2	RMS050	ROOF, INSP/REPT -	1.00	ITEM	108.65	UN	M
6	2	EHT360	HEATER ELE, 2 KW - Heater graffiti	1.00	NUM	226.22	LI1	D
7	2	CHD500	DR STOP, REPL - Broken to cupboard	1.00	NUM	9.29	LI1	D
8	2	FCA120	CARPET PATCH - By phone jack damaged section of carpet	1.00	NUM	30.02	LI1	D
9	2	KCH360	CLEAN CARPET, COMMERCIAL - Includes cupboard	15.00	M2	68.70	LI1	M
10	2	KCH505	CURTAIN WASH, TRIPLE WEAVE -	8.75	M2	218.75	LI1	M
11	2	CHW150	WINDOW TIM SECURITY STAY, S&F - Fanlight Windows facing be3, fall height	3.00	NUM	125.79	LI1	M
12	2	CHW300	WINDOW TIM FRICTION STAY, REPL - Fanlight windows facing be3, middle and	2.00	NUM	159.26	LI1	M
13	2	DPI800	PAINT INT PATCH - Behind cupboard door, black permanent ma	1.00	M2	22.37	LI1	D
14	2	KCH505	CURTAIN WASH, TRIPLE WEAVE -	2.75	M2	68.75	DR1	M
15	2	KCH330	VINYL STRIP, RESEAL & POLISH - Fwt	8.00	M2	178.32	DR1	M
16	2	CHD140	LATCH ONLY, MAG HEAD, S&F - To hwc cupboard door	1.00	NUM	53.34	DR1	M
17	2	CHD200	LATCH COMPL, REPL - Door to eh1	1.00	NUM	90.63	DR1	D
18	2	DPW130	PAINT WALLS, DINING ROOM - Wall 1 and 2, marked blue	.50	NUM	119.67	DR1	D
19	2	EHW050	HWC ELE, INSP/REPT -	1.00	NUM	43.24	VL1	M
20	2	EHW150	HWC THERMOSTAT, ADJUST -	1.00	NUM	32.19	VL1	M
21	2	CHD500	DR STOP, REPL - Broken	1.00	NUM	9.29	DR1	D
22	2	EMS100	ELECTRICAL FITTING, RESECURE - Light, loose	1.00	NUM	14.67	DR1	D
23	2	CWT050	WINDOW TIM SASH, EASE - Both windows	1.00	NUM	28.06	DR1	M
24	2	CHW150	WINDOW TIM SECURITY STAY, S&F - Both windows	2.00	NUM	83.86	DR1	M
25	2	CHW205	WINDOW HRDWR, REM REDUNDANT - Remove broken quadrant stays fill holes	2.00	NUM	16.68	DR1	D
26	2	ERG050	RGE ELE, INSP/REPT -	1.00	NUM	57.11	KI1	M
27	2	ERG820	RGE ELE, REM & RECONNECT - To repl heat shield	1.00	NUM	55.51	KI1	M
28	2	CMS400	RGE WALL PROTECTION, TILED - Caution potential asbestos, to be tested	1.00	NUM	89.93	KI1	M
29	2	EFN440	RANGEHOOD LIGHT REPL - Not working	1.00	NUM	45.54	KI1	M
30	2	CHC200	CABINET SPRUNG CATCH, REPL - Wetbench broken	2.00	NUM	52.86	KI1	D
31	2	KCH210	CLEAN KITCHEN CUPBOARDS -	1.00	ITEM	76.05	KI1	M
32	2	KCH250	CLEAN STOVE, MINOR -	1.00	NUM	76.97	KI1	M
33	2	KCH270	RANGEHOOD CLEAN/MAINT -	1.00	NUM	38.79	KI1	M
34	2	CHD500	DR STOP, REPL - Missing	1.00	NUM	9.29	KI1	D
35	2	PPW750	PLUG & CHAIN, S&F - Broken	1.00	NUM	21.26	KI1	D
36	2	CHD425	KEY & CONST BARREL, S&F - Back door	1.00	NUM	42.72	KI1	M
37	2	EMS100	ELECTRICAL FITTING, RESECURE - Light, is loose	1.00	NUM	14.67	KI1	D
38	2	CHC400	CABINET CHILDPROOF CATCH, REPL - Wetbench	2.00	NUM	27.12	KI1	M

39	2	CHW205	WINDOW HRDWR, REM REDUNDANT - Remove redundant quadrant stay by windiw	1.00	NUM	8.34	KI1	M
40	2	CHD110	LATCH/LOCK STRIKER PLATE, REPL - Back door broken	1.00	NUM	10.19	KI1	D
41	2	CJD800	KITCHEN CUTLERY INSERT, S&F - Repl existing	1.00	NUM	16.99	KI1	M
42	2	KCH330	VINYL STRIP, RESEAL & POLISH - Fwt	5.50	M2	122.60	KI1	M
43	2	DPI420	PAINT INT JOINERY CABINETS - Wetbench only	1.70	M	102.02	KI1	M
44	2	CJC110	CABINET SHELVING, REPL - Dry bench, bottom shelf blown right cupb	.90	M	70.52	KI1	M
45	2	ELF600	LIGHT EXT BALL COMPL, REPL - BE3/BE1 By back door	1.00	NUM	137.75	BE1	M
46	2	CHD305	LOCK SCHLAGE ENTRY COMPL, REPL - Lal entry door	1.00	NUM	76.03	LA1	M
47	2	CAA100	CARPENTRY DAYWORK, LABOUR - Remove mortice fill large hole	.50	HR	21.36	LA1	M
48	2	CAA200	CARPENTRY DAYWORK, MATERIAL - Cost for filler	15.00	NZD	15.00	LA1	M
49	2	DPE210	PAINT EXT DR - BE3/BE1 Lal door after mortice hamdle re	1.00	NUM	33.23	BE1	M
50	2	DPI100	PAINT INT DR - Entry, after mortice hamdle removed	.50	NUM	29.30	LA1	M
51	2	CHD500	DR STOP, REPL - Missing	1.00	NUM	9.29	LA1	D
52	2	CWT050	WINDOW TIM SASH, EASE - Both windows	2.00	NUM	56.12	LA1	M
53	2	CHW200	WINDOW HRDWR, ADJUST/OIL/REFIX - Quadrant window	1.00	NUM	11.14	LA1	M
54	2	KCH330	VINYL STRIP, RESEAL & POLISH - Fwt	3.50	M2	78.02	LA1	M
55	2	PLT160	LAUNDRY TUB BRACKET, REPL - Repl both brackets rusty	1.00	NUM	52.01	LA1	M
56	2	DPI800	PAINT INT PATCH - Inner side of wetbench doors	1.50	M2	33.56	KI1	M
57	2	EAA100	ELECTRICAL DAYWORK, LABOUR - Tidy phone cables in cupboard	.50	HR	24.97	EH1	M
58	2	CDT510	DR, REHANG - Door to eh1	1.00	NUM	34.22	DR1	D
59	2	PSP100	SPOUTING & VALLEYS, CLEAN OUT -	1.00	ITEM	174.86	BE1	M
60	2	ELF600	LIGHT EXT BALL COMPL, REPL - By front door	1.00	NUM	137.75	BE1	M
61	2	KCH360	CLEAN CARPET, COMMERCIAL - Includes cupboard	5.50	M2	25.19	EH1	M
62	2	CHD425	KEY & CONST BARREL, S&F - Front door	1.00	NUM	42.72	EH1	M
63	2	CHD105	LATCH/LOCK, REM REDUNDANT - Slide l t h to entry fill holes	1.00	NUM	8.34	B1	D
64	2	CHW400	WINDOW CASEMENT STAY, REPL - Broke r pl, right as	1.00	NUM	31.27	B1	D
65	2	CWT060	WINDOW TIM SASH, REHANG - Right casement window, ont close	1.00	NUM	35.33	B1	M
66	2	KCH360	CLEAN CARPET, COMMERCIAL - Inc udes ward	10.00	M2	45.80	B1	M
67	2	KCH505	CURTAIN WASH, TRIPLE WEAWE -	3.00	M2	75.00	B1	M
68	2	CHD500	DR STOP, REPL - Broken	1.00	NUM	9.29	B1	D
69	2	CHD105	LATCH/LOCK, REM REDUNDANT Slider latch o entry n frame, fill hole	1.00	NUM	8.34	B2	D
70	2	KCH360	CLEAN CARPET, COMMERCIAL - Includes bot cupboards	14.50	M2	66.41	B2	M
71	2	DPI500	PAINT TRIM 0-150MM - Both window fill	3.70	M	18.13	B2	M
72	2	KCH505	CURTAIN WASH, TRIPLE WEAWE -	6.25	M2	156.25	B2	M
73	2	CWT050	WINDOW TIM SASH, EASE - Quadrant window facing be4	1.00	NUM	28.06	B2	M
74	2	KCH360	CLEAN CARPET, COMMERCIAL - In ludes ward	9.75	M2	44.66	B3	M
75	2	DPI500	PAINT TRIM 0-150MM - Bot w n 9w sills	2.90	M	14.21	B3	M
76	2	KCH505	CURTAIN WASH, TRIPLE WEAWE -	4.50	M2	112.50	B3	M
77	2	EAA100	ELECTRICAL DAYWORK, LABO R - Tidy powerpoint conduit	.25	HR	12.49	B3	M
78	2	KCH330	VINYL STRIP, RE EAL & POLISH - Fwt	1.50	M2	33.44	W1	M
79	2	CHW205	WINDOW HRDWR, REM REDUNDANT - Remove broken quadrant stay fill holes	1.00	NUM	8.34	W1	D
80	2	PPW750	PLUG & CHAIN S F - Vanity n bath	2.00	NUM	42.52	BA1	D
81	2	CMS120	SEALANT TO FI TING, REPL - Toilet pan	.70	M	14.12	W1	M

82	2	PTP110	TAP HANDLES, TIGHTEN - Both vanity taps	2.00	NUM	25.94	BA1	M
83	2	PMS150	PLUMBING TAPWARE, REM & REFIT - Bath taps and mixer,	2.00	NUM	95.06	BA1	D
84	2	CLW210	WET LININGS BATH 3 SIDES, REPL - Cracked	1.00	NUM	852.58	BA1	D
85	2	CFR300	FRAMING, STRAP TIM WALL - Around bath	4.75	M2	165.68	BA1	D
86	2	CLI190	PLSTR BD 10MM, WET >2M2, REPL - Around bath if required check	4.75	M2	252.51	BA1	D
87	2	CFR550	FALSE WALL 50-100MM, S&F - If required	1.00	NUM	101.42	BA1	D
88	2	ELF520	LIGHT CEILING LED 17W, S&F - Repl moon light	1.00	NUM	87.27	BA1	M
89	2	EFN050	HT VENTCALLOUT - Check bal fan very weak	1.00	HR	77.69	BA1	M
90	2	KCH330	VINYL STRIP, RESEAL & POLISH - Fwt	1.50	M2	33.44	BA1	M
91	2	ELF680	SECURITY LIGHT ADJUST - Corner of be4 check	1.00	NUM	11.10	BE1	M
92	2	KCH050	RUBBISH INT, REM - Rubbish	.50	M3	49.68	AN	D
93	2	KCX210	CLEAN EXT SHED - Garage	1.00	NUM	13.03	AN	M
94	2	GTW210	GLASS CLR STY, TIM WIN .4-.8M2 - Broken window	1.00	NUM	192.38	AN	D
95	2	ELF190	LIGHT CFL, REPL - Missing, garage	1.00	NUM	9.83	AN	D
96	2	CHD360	LOCK GARAGE DR COMPL, REPL -	1.00	NUM	63.80	AN	M
97	2	CHD205	LATCH SCHLAGE COMPL, REPL - To pedestrian door	1.00	NUM	49.71	AN	M
98	2	CHX150	PADBOLT, S&F - To pedestrian door	1.00	NUM	11.96	AN	M
99	2	PSP300	SPOUTING PVC, REPL - Broken spouting to garage	14.00	M	636.86	AN	M
100	2	YFE400	FENCE TIM 1800 PALING, REPL - PE3/PE1 Rf3b missing and broken	4.00	NUM	45.32	PE1	D
101	2	YFE210	FENCE TIM RAIL, REPL - PE3/PE1 Rf3b, were broke a back	5.80	M	144.88	PE1	D
102	2	YGT050	GATE, ADJUST - Gate by garage wont shut	1.00	NUM	6.16	PE1	D
103	2	CHX100	PADLOCK, REM - On small shed	1.00	NUM	7.42	AN	D
104	2	KCX210	CLEAN EXT SHED - Small shed	1.00	NUM	13.03	AN	D
105	2	TAA320	TEST & REPORT, ASBESTOS - Asbestos surv y bal wetwall, k l heat s	459.77	NZD	459.77	UN	M
106	2	AIF110	INSUL FLOOR BATTS MEETS STD - Meets s d	1.00	NZD	.01	UN	M
107	2	AIC110	INSUL CEILING BATTS MEETS STD - Me ts std	1.00	NZD	.01	UN	M
108	2	EMS050	ELE WHOLE HSE, INSP/REPT -	1.00	ITEM	84.86	UN	M
109	2	EMS690	SMOKE ALARMS, CLEAN & TEST -	1.00	ITEM	12.02	UN	M
110	2	KCH160	CLEAN WHOLE HSE >2 BEDRM, MJR	1.00	NUM	548.10	UN	M
111	2	YMG230	GRASS CUT SECTION <=500M - Grass cut	1.00	NUM	59.89	PE1	M
112	2	YMG235	DISPOSE CLIPPINGS SECTION, <=500M2 - As p r VS request	1.00	NUM	16.70	PE1	M
113	2	YMG550	TREE CUT DOWN 2.0M-5.0M HIGH - Remove trees damaging fence lines	4.00	NUM	487.12	PE1	M
114	2	YMG560	TREE STUMP, REM - From trees that wer cut	4.00	NUM	800.80	PE1	M
115	2	YMG570	TREE PRUNE - PE4/PE1 Large neighbouring tree over han	1,100.0	NZD	1,100.00	PE1	M
116	2	YMG540	BUSH CUT DOWN <=2M2 HIGH - Bushes all around property	0	NUM	267.84	PE1	M
117	2	YCX500	RUBBISH EXT, REM - Rubbish and veg	9.00	M3	741.87	PE1	D
118	2	YLB150	LETTERBOX POST, REPL - Dma e	9.00	NUM	120.09	PE1	D
119	2	YLB230	LETTERBOX PLASTIC, S&F -	1.00	NUM	72.90	PE1	D
120	2	YLB310	LETTERBOX STREET NUMBER, S&F/REPL -	1.00	NUM	10.84	PE1	D
121	2	KCH050	RUBBISH INT, REM - Rubbish under house and shed	2.00	M3	99.35	UN	D
122	2	YAA300	GARDENING DAY ORK, LABOUR - Tidy yard	1.00	HR	111.72	PE1	M
				4.00				

Property and Tenancy Inspection Report



TENANCY REFERENCE NUMBER		PROPERTY REFERENCE NUMBER	
9(2)(a)		HSS0017766	
TENANT NAME(S)			
9(2)(a)			
PROPERTY ADDRESS			
HSS 78 HAMILL RD OTARA MANUKAU 2023			
HOME PHONE		MOBILE PHONE	
		9(2)(a)	
INSPECTION TYPE	PRELET	INSPECTION DATE	2 Jul-2019
		START TIME	22-Jul-2019 11:34 AM
		END TIME	22-Jul-2019 12:06 PM
BUSINESS ACTION REFERENCE			
TENANCY START DATE		TENANCY DURATION	
9(2)(a)		0 years 0 Months	
TENANCY NOTES			
HOUSEHOLD MEMBER INFORMATION			
HOUSEHOLD MEMBER INFORMATION CHANGED		No	

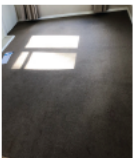
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Property and Tenancy Inspection Report



LIVING 1

ROOM CONFIGURATION		OVERALL ROOM CONDITION		
Living/Dining		Good		
WINDOW JOINERY		WINDOW COVERINGS	FLOOR FINISH	
Wood		Present	Carpet	
FORM OF HEATING 1		FORM OF HEATING 2		
Panel Heater - Electric		N/A		
IS SMOKE DETECTOR WORKING?	Yes	ISSUE	DAMAGE	TENANT LIABLE
IS SMOKE DETECTOR POSITIONED CORRECTLY?	Yes			
DISABILITY MODIFICATIONS				
SPACE ISSUES				
PHOTOS				



Appendix 1



Appendix 2



Appendix 3



Appendix 4



Appendix 5



Appendix 6



Appendix 7

Official Information Act 1982

Property and Tenancy Inspection Report



DINING 2

ROOM CONFIGURATION

Dining

OVERALL ROOM CONDITION

Good

WINDOW JOINERY

Wood

WINDOW COVERINGS

Present

FLOOR FINISH

Vinyl

DISABILITY MODIFICATIONS

SPACE ISSUES

PHOTOS



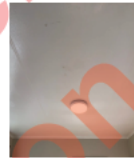
Appendix 8



Appendix 9



Appendix 10



Appendix 11



Appendix 12

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Property and Tenancy Inspection Report



KITCHEN 1

ROOM CONFIGURATION	OVERALL ROOM CONDITION
Kitchen	Good

WINDOW JOINERY	WINDOW COVERINGS	FLOOR FINISH
Wood	Absent	Vinyl

MEANS OF COOKING 1	MEANS OF COOKING 2	VENTILATION
Stove Electric	N/A	Rangehood

IS THERE SECURE STORAGE?	
Present	

IS ANTI-TIP DEVICE WORKING CORRECTLY?	ISSUE	DAMAGE	TENANT IABLE
Yes			

DISABILITY MODIFICATIONS

SPACE ISSUES

PHOTOS



Appendix 13



Appendix 14



Appendix 15



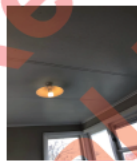
Appendix 16



Appendix 17



Appendix 18



Appendix 19



Appendix 20



Appendix 21



Appendix 22



Appendix 23

Property and Tenancy Inspection Report



ENTRY/HALLWAY 1

ROOM CONFIGURATION	OVERALL ROOM CONDITION
---------------------------	-------------------------------

Entry/Hallway	Good
---------------	------

WINDOW JOINERY	WINDOW COVERINGS	FLOOR FINISH
-----------------------	-------------------------	---------------------

No windows	No windows	Carpet
------------	------------	--------

FORM OF HEATING	Absent
------------------------	--------

IS SMOKE DETECTOR WORKING?	Yes	ISSUE	DAMAGE	TENANT LIABILITY
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IS SMOKE DETECTOR POSITIONED CORRECTLY?	Yes			
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DISABILITY MODIFICATIONS

SPACE ISSUES

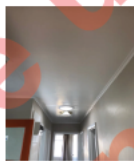
PHOTOS



Appendix 24



Appendix 25



Appendix 26

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Property and Tenancy Inspection Report



BEDROOM 1

ROOM CONFIGURATION	OVERALL ROOM CONDITION
Bedroom/Bathroom/Toilet	Good

WINDOW JOINERY	WINDOW COVERINGS	FLOOR FINISH
Wood	Present	Carpet

FORM OF HEATING	STORAGE TYPE
Absent	Wardrobe with Shelf & Rod

IS SMOKE DETECTOR WORKING?	Yes	ISSUE	DAMAGE	TENANT LIABLE
IS SMOKE DETECTOR POSITIONED CORRECTLY?	Yes			

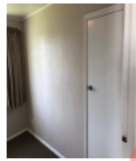
DISABILITY MODIFICATIONS

SPACE ISSUES

PHOTOS



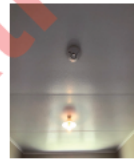
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Appendix 28



Appendix 29



Appendix 30



Appendix 31

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Property and Tenancy Inspection Report



BEDROOM 2

ROOM CONFIGURATION	OVERALL ROOM CONDITION
Bedroom/Bathroom/Toilet	Good

WINDOW JOINERY	WINDOW COVERINGS	FLOOR FINISH
Wood	Present	Carpet

FORM OF HEATING	STORAGE TYPE
Absent	Wardrobe with Shelf & Rod

IS SMOKE DETECTOR WORKING?	Yes	ISSUE	DAMAGE	TENANT LIABLE
IS SMOKE DETECTOR POSITIONED CORRECTLY?	Yes			

DISABILITY MODIFICATIONS

SPACE ISSUES

PHOTOS



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Appendix 33



Appendix 34



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Property and Tenancy Inspection Report



BEDROOM 3

ROOM CONFIGURATION	OVERALL ROOM CONDITION
Bedroom/Bathroom/Toilet	Good

WINDOW JOINERY	WINDOW COVERINGS	FLOOR FINISH
Wood	Present	Carpet

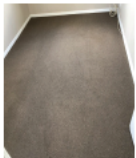
FORM OF HEATING	STORAGE TYPE
Absent	Wardrobe with Shelf & Rod

IS SMOKE DETECTOR WORKING?	Yes	ISSUE	DAMAGE	TENANT LIABLE
IS SMOKE DETECTOR POSITIONED CORRECTLY?	Yes			

DISABILITY MODIFICATIONS

SPACE ISSUES

PHOTOS



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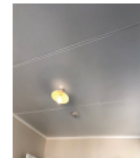
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Appendix 41

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Property and Tenancy Inspection Report



BATHROOM 1

ROOM CONFIGURATION	OVERALL ROOM CONDITION
Bathroom	Good
WINDOW JOINERY	FLOOR FINISH
Wood	Vinyl
STORAGE TYPE	VENTILATION
Upper Cabinet	Present
BATH	TYPE OF SHOWER
Present	Shower Over Bath

DISABILITY MODIFICATIONS

SPACE ISSUES

PHOTOS



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Appendix 46

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Property and Tenancy Inspection Report



TOILET 1

ROOM CONFIGURATION

Toilet

OVERALL ROOM CONDITION

Good

WINDOW JOINERY

Wood

FLOOR FINISH

Vinyl

DISABILITY MODIFICATIONS

SPACE ISSUES

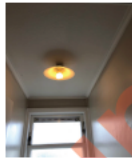
PHOTOS



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Appendix 9

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Property and Tenancy Inspection Report



LAUNDRY 1

ROOM CONFIGURATION	OVERALL ROOM CONDITION
Laundry	Good
WINDOW JOINERY	FLOOR FINISH
Wood	Vinyl
STORAGE TYPE	
Open Shelves	

DISABILITY MODIFICATIONS

SPACE ISSUES

PHOTOS



Appendix 50



Appendix 51



Appendix 52



Appendix 53



Appendix 54

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Property and Tenancy Inspection Report



PROPERTY EXTERIOR 1

OVERALL EXTERIOR CONDITION

Good

CAR PARKING

Off-Street Parking

DRIVEWAY

Present

OUTDOOR LIVING SPACE

Absent

SECURE PLAY AREA

Present

ARE ALL ENVIRONMENTAL FACTORS SAFE?

Yes

ACTION TO BE TAKEN

DISABILITY MODIFICATIONS

SPACE ISSUES

PHOTOS



Appendix 55



Appendix 56



Appendix 7



Appendix 58



Appendix 59



Appendix 60



Appendix 61



Appendix 62

Official Information Act 1982

Property and Tenancy Inspection Report



OVERALL PROPERTY INFORMATION

WHEELIE/REFUSE BIN NUMBER	POWER METER READING	WATER METER READING
Both bins are on site		

ADDITIONAL NOTES

Property is clean and tidy and in good condition. Fully carpeted with thermal curtains working smoke alarms, heater, rangehood, electric stove and mechanical fan. All fixtures and fittings are in good working condition. Some wear and tear with paint chip however all still fit for purpose. Exterior is clean and tidy.

Work to be done around new tenant; paint window frame in bedroom 2 and roof repairs.(fen e w l be referre to PF)

PHOTOS

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Property and Tenancy Inspection Report



AUTO LET JOB INFORMATION

ACCESS NOTES	ADDITIONAL ACCESS NOTES	IS SMOKE DETECTOR WORK URGENT?
Anytime		

AUTO LET JOB DESCRIPTION

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Property and Tenancy Inspection Report



PRELET INSPECTION TENANT INFORMATION

TENANT NAME(S)	
SIGNATURE OF TENANT(S)	
DATE	
NAME OF KĀINGA ORA REPRESENTATIVE	
SIGNATURE OF KĀINGA ORA REPRESENTATIVE	
DATE	

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Property and Tenancy Inspection Report



Appendix 1
Living 1



Appendix 2
Living 1



Appendix 3
Living 1

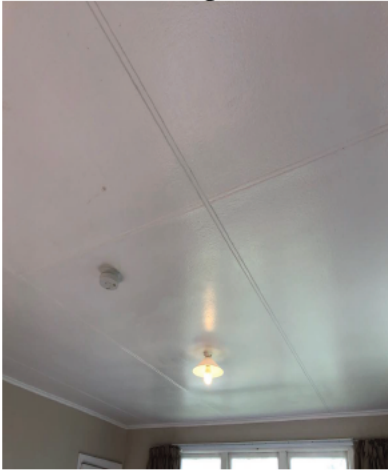


Appendix 4
Living 1



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Appendix 5
Living 1



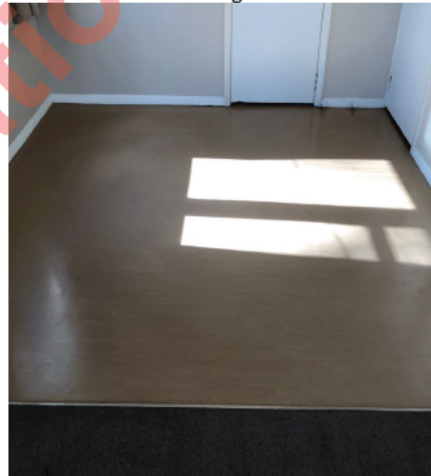
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Living 1



Appendix 7
Living 1

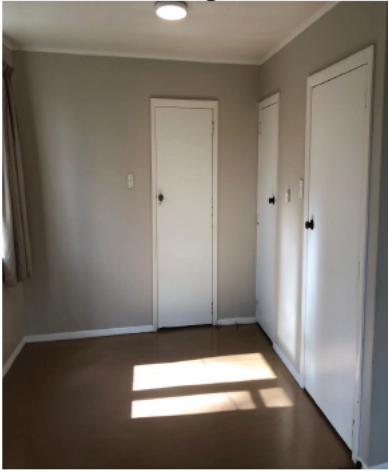


Appendix 8
Dining 2



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Appendix 9
Dining 2



Appendix 10
Dining 2



Appendix 11
Dining 2



Appendix 12
Dining 2



Official Information Act 1982

Appendix 13
Kitchen 1



Appendix 14
Kitchen 1



Appendix 15
Kitchen 1



Appendix 16
Kitchen 1



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Appendix 17
Kitchen 1



Appendix 18
Kitchen 1



Appendix 19
Kitchen 1



Appendix 20
Kitchen 1



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Appendix 21
Kitchen 1



Appendix 22
Kitchen 1



Appendix 23
Kitchen 1



Appendix 24
Entry/Hallway 1

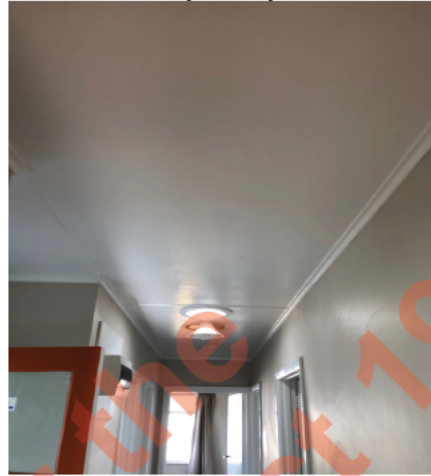


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Appendix 25
Entry/Hallway 1



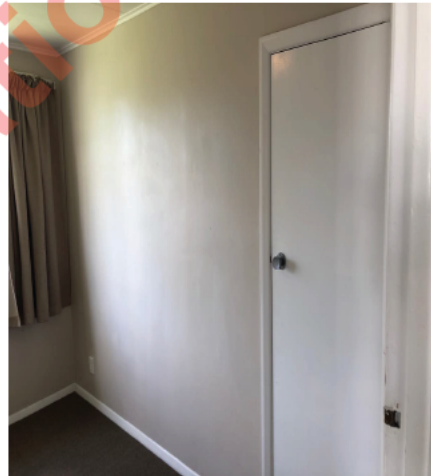
Appendix 26
Entry/Hallway 1



Appendix 27
Bedroom 1



Appendix 28
Bedroom 1

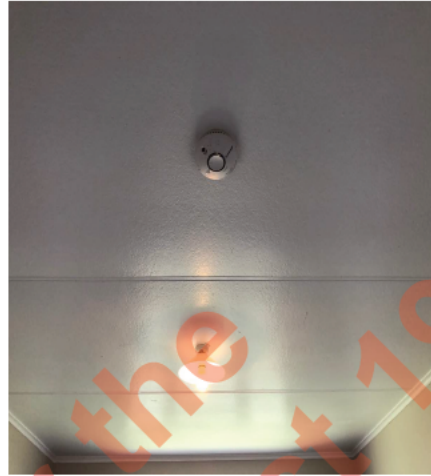


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Appendix 29
Bedroom 1



Appendix 30
Bedroom 1



Appendix 31
Bedroom 1



Appendix 32
Bedroom 2



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Appendix 33
Bedroom 2



Appendix 34
Bedroom 2



Appendix 35
Bedroom 2



Appendix 36
Bedroom 2



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Appendix 37
Bedroom 3



Appendix 38
Bedroom 3



Appendix 39
Bedroom 3



Appendix 40
Bedroom 3

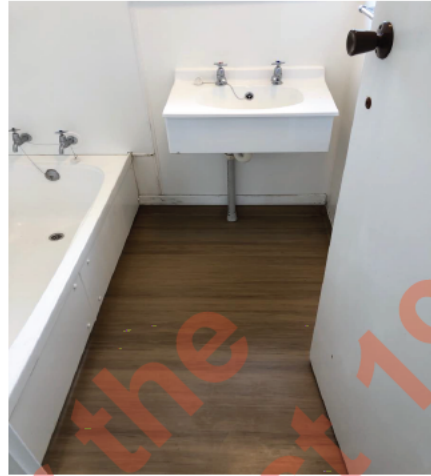


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Appendix 41
Bedroom 3



Appendix 42
Bathroom 1



Appendix 43
Bathroom 1



Appendix 44
Bathroom 1



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Appendix 45
Bathroom 1



Appendix 46
Bathroom 1



Appendix 47
Toilet 1



Appendix 48
Toilet 1



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Appendix 49
Toilet 1



Appendix 50
Laundry 1



Appendix 51
Laundry 1



Appendix 52
Laundry 1



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Appendix 53
Laundry 1



Appendix 54
Laundry 1



Appendix 55
Property Exterior 1



Appendix 56
Property Exterior 1



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Appendix 57
Property Exterior 1



Appendix 58
Property Exterior 1



Appendix 59
Property Exterior 1



Appendix 60
Property Exterior 1



Official Release under Access to Information Act 1982

Appendix 61
Property Exterior 1



Appendix 62
Property Exterior 1



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