

Project Request Form



This form should be used at the beginning of any potential project to formally handover the project to Capital Works. This form should not be used for projects with expected total value >\$3M. Please return in Excel format.

Project No.	213797	Project Name	RTLB Housing Project	Date	2/06/2022
School ID	525	School Name	Salisbury School		
Region	Southern	Property Advisor	Jody Nichols	Project Type	Other

Scope and cost estimates

Block	Project Scope	Issue(s) being addressed	Estimated Cost (if known)	Funding Source (Finance use only)
Ita	Delivery of accommodation for RTLB, BLENNZ and Ko Taku Reo.	A central sensory resource centre and office base for outreach	1,276,794.00	PI
Total			1,276,794.00	

Background / context

In early 2019 the original submission for Property Initiatives Funding was for the refurbishment of existing space at Salisbury. This project was to be phase one of the redevelopment of the Salisbury site and was to accommodate the RTLB, Ko Taku Reo and BLENNZ outreach service teachers in the region as the schools sites that they were based were experiencing roll growth pressures. Since then, these staff have been housed in the Admin block, Parker House and the Rec Building of Salisbury. The offices in the admin block have significant leaks and mould so these have been mobilised as the cost to repair a building that will be demolished as part of the Salisbury redevelopment is not justifiable. All staff are now in Parker and the Rec Building and these will also be demolished as part of the co-location of Matai and Salisbury. The updated scope of this project will be to deliver a new building to accommodate these staff which will be delivered by Capital Works.

Ko Tau Reo and BLENNZ are both Sensory Resource Centres providing an outreach service and have SPG entitlement under the SRC Capex. RTLB will be based on LSC provision of 15sqm per staff member.

Estimated cost range	\$1 - \$3 million	Time urgency	Medium (within 24 months)
Drivers	Site Related	Benefits	Safe and health learning environment

Seed funding (if required)

Amount	Funding Source	Programme	Financial Year	Status
				<select>

Infrastructure Advisory Services Endorsement / Approval

Regional Infrastructure Manager	Simon Cruickshank	Date	2/06/2022
9(2)(a)	Comments		

GMAM	9(2)(a)	Approved (date)		Notes	
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Capital Works Acceptance

Project Accountant	9(2)(a)	Date	
Signature	Comments		

DTM (not required for < \$1M)	Lance Florance	Date	
Signature	Comments Budget estimate unlikely to be sufficient to deliver project with the amount of enabling works required, be aware that once the SPG calculations are completed a more accurate budget will need to be applied and updated		

9(2)(a)	David Hobern	Date	
22 June 2022			
Comments			

GM Capital Works (not required for < \$1M)	Darron Monaghan	Date	
Signature	Comments		

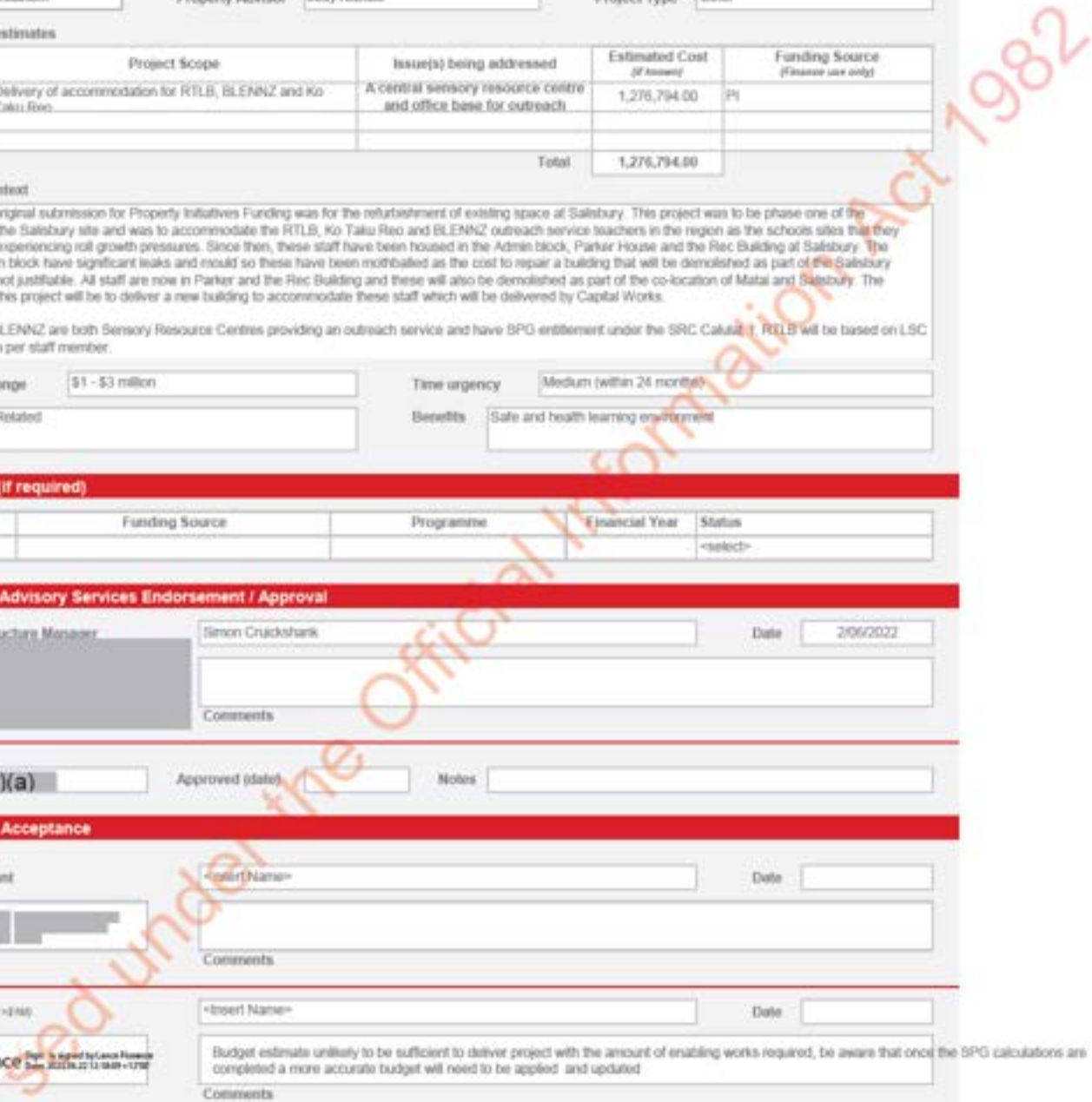


Table 2 - PRFs received for GMAM to approve and then provide to Capital Works for delivery – Once PRF is accepted by CW, seed funding allocation (if required) will be arranged by CW Finance Hub Team.

Note: PRF cannot be used to seek total project funding. The purpose of the PRF is to handover a project to CW team and to seek seed funding to scope the project if required.
Note to FH team: Cost codes and budgets under Supple.5YA, Budget Plus, Weathertightness, Property Initiative and AMS will need to be set up as school-level cost code by Helios Service Desk team. Please check the process with SFT if clarification is required.

Project No.	School No.	School Name	Property Advisor/ Requester	Funding source requested or already allocated	Seed funding amount	Total project budget	Purpose of PRF (Depending on the funding source, final scope and costing need approval from AMG/GMAM before construction works are initiated)	Approved by GMAM	Comment
213797	525	Salisbury School	Jody Nichols	PI_CAPITAL 2018/19-\$1,276,794 (already allocated in K2)	No seed funding requested	\$1,276,794	<p>PRF to handover an RTLB housing project to the Capital Works team.</p> <p>In early 2019 the original submission for Property Initiatives Funding was for the refurbishment of existing space at Salisbury to accommodate the RTLB, Ko Taku Reo and BLENNZ outreach service teachers in the region. Since then, these staff have been housed in the Admin block, Parker House and the Rec Building at Salisbury. The offices in the admin block have significant leaks and mould so these have been mothballed as the cost to repair a building that will be demolished as part of the Salisbury redevelopment is not justifiable. All staff are now in Parker and the Rec Building and these will also be demolished as part of the co-location of Matai and Salisbury. The updated scope of this project will be to deliver a new building to accommodate these staff which will be delivered by Capital Works.</p> <p>Ko Tau Reo and BLENNZ are both Sensory Resource Centres providing an outreach service and have SPG entitlement under the SRC Calculator. RTLB will be based on LSC provision of 15sqm per staff member.</p>	Y <input checked="" type="checkbox"/> N <input type="checkbox"/>	<p>Southern: Request for CW Team to deliver the project within the scope and budget noted in this table once approved by GMAM.</p> <p>PRF is endorsed by the RIM</p>

9(2)(a)

15.06.22

Signed _____
 9(2)(a)
 General Manager Asset Management
 Date _____

Released Under the Official Information Act 1982

Change Request

School Project Information

Project	Sensory Resource Centre and RTLB Base	School Name	Salisbury School (Nelson)
Helios Project Number	213797	School ID	525
Current project phase	Construction	Date	25/05/2023
Priority	P2 - Essential Infrastructure	Funding Policy	Property Initiatives
Delivery Manager	9(2)(a)	Property Advisor	Jody Nichols

Change Request

	Total
(A) Current budget	\$1,276,794.00
(B) Funding requested	\$1,693,970.93
(A + B) Revised total budget	\$2,970,764.93

This request is for \$1,693,970.98 of Property Initiatives funding and \$90,080.00 of Furniture and Equipment to complete the Sensory Resource Centre and RTLB Base.

Additional funding is needed because the blocks for redevelopment originally identified for this project will be demolished as part of the site redevelopment and delivery of Matai Specialist School and Salisbury Residential School (project 209628 and 207596). The best solution is the relocation and refurbishment of existing Ministry Owned relocatables. The increased costs of this solution are due to the:

- Cost of relocation and installation
- Additional in-ground infrastructure requirements
- Increase foundation height requirements (council request)
- Carparking
- Construction cost escalation since 2019

Approval is recommended to ensure the Ministry can progress the intent of the original approval - to establish multipurpose space for three educational groups (Ko Taku Reo, BLENNZ and RTLB). This will serve as a sensory resource centre for Ko Taku Reo and BLENNZ where groups of ākonga and their whanau can access for support and teaching purposes. It will also provide a base for the staff of these three education groups. This project also impacts the delivery of the other two projects on this site – Matai Specialist School and Salisbury Residential School redevelopments. It will also allow the other two projects on the site to progress and the extension of the site for TKKM o Tuia te Matangi which is at the rear of the site.

Funding Source	Funding Year	Current Budget	Funding Request	Revised Budget
Property Initiatives	2018/19	\$1,276,794.00	-	\$1,276,794.00
	2023/24	-	\$1,603,890.93	\$1,603,890.93
Furniture & Equipment	2023/24		\$90,080.00	\$90,080.00
Total		\$1,276,794.00	\$1,603,890.93	\$2,970,764.93

Description

Original approval

The original Submission in 2019 was for a refurbishment of the Te Ara and Hurley Blocks which are residential accommodation blocks at Salisbury School to accommodate BLENNZ, Ko Taku Reo and RTLB.

Change in situation

Since that time the redevelopment of the Salisbury site has progressed, and these blocks will be demolished as part of the site redevelopment and delivery of Matai Specialist School and Salisbury Residential School.

Proposed solution

Consideration of the new location of this facility was given - being at the front of the site minimises traffic flow through the Salisbury secure site and disruption to the ākonga at these sites.

A basic design was progressed and costed out looking at OMBs, be spoke design and re using existing buildings on the Salisbury site as possible solutions. The most economical solution was the relocation, re-purpose and refit out of 2 x 2TS relocs at Waimea College onto the front of the Salisbury site.

This multipurpose building will have three educational groups accommodated - Ko Taku Reo, BLENNZ and RTLB. It will serve as a sensory resource centre for Ko Taku Reo and BLENNZ where groups of ākonga and their whanau can access for support and teaching purposes. It will also provide a base for the staff of these three education groups. Currently these 3 user groups are located in buildings on Salisbury site that are due for demolition, so this building needs to be completed in order for the Matai/Salisbury redevelopment to proceed.

FF&E has been calculated based on regular space rate of new build of \$160 per net m2. The Sensory Resource Centre generates 218sqm of entitlement and an entitlement of 15sqm per RTLB has been applied to the 23 RTLB staff to give a total 563sqm.

Scope change required

Summary of change(s)	Refurbishment of existing buildings to Relocation and refurbishment of Ministry Owned relocatables, associated in-ground services, and carparking.	
	Previous	New Scope to approve
Site Works / infrastructure	Refurbishment of the 2 residential blocks at Salisbury School using existing infrastructure on the site. Use of existing throughfare and car parking.	Carpark Associated in-ground service upgrades
Demolition	None	Removal from Waimea College site and making good of Waimea College Site
Redevelopment	Refurbishment of the Te Ara and Hurley Blocks at Salisbury Residential School	Relocation and refurbishment of 2 relocs and construction of connecting space between the 2 blocks.
New Build	None	Relocation, re-purpose and refit out of 2 x 2TS relocs (from Waimea College)

What has happened to date

Fitzgerald have been engaged through the OMB contract, which has allowed this work to be completed in stages and provides up to date cost analysis. They have been signed up under pre-arranged rates - percentages and costing based on OMB programme.

Stage one has been completed and the relocs were moved onto the Salisbury site onto foundations over the 2022 summer break and are publicly visible from the roadside. Running alongside this relocation has been the design of the connecting section of the buildings and the internal refurbishment that has been designed to ensure that the functionality for those in the blind and deaf community is accessible.

The future works are scheduled below:

Phase	Previous Date	Forecast Date	Reasons for delay
Design	Complete		
Tender	Complete		
Construction Start	20/12/2022	20/12/2022	
Construction End	8/11/2023	8/01/2024	Second stage of the project went through an 'affordability assessment' due to increased scope and cost inflation

Cost impact of the change

Part of the cost escalation from the initial submission has been due to the added requirement of carparking and associated infrastructure of the new site location. Additionally, as part of the consent process the Tasman District Council required an increased foundation height in recognition of the flood risk of the site. There has also been a substantial increase in building costs since the original submission 2019 (which assumed a Redev cost of \$1,800 per sqm).

Below is a breakdown of the costs to continue the project given that the change of the original scope from redevelopment to a new build and the additional infrastructure costs associated with that such as carparking, power supply, building consent.

An estimation of furniture costs to fit out the new building has also been allowed for based on an estimate from the designer.

Cost breakdown

Description	Original budget	Funding Request	Revised budget
Redevelopment / Refurbishment*	1,014,500.00	-26,471.50	988,028.50
Relocatable (from Waimea College)	-	429,000.15	429,000.15
Site works	-	309,661.63	309,661.63
Demolition (Capex) – make good at Waimea College where relocatable were	-	23,800.28	23,800.28
In-ground services / infrastructure	-	314,508.64	314,508.64
Carparks	-	238,201.00	238,201.00
Preliminaries, General & Margin	-	260,529.20	260,529.20
Professional fees	124,740.00	- 30,030.00	94,710.00
Contingency (5%)*	116,424.00	16,497.97	132,921.97
Staff capitalisation & insurance (3.2%)	21,130.00	68,193.61	89,323.56
Furniture and Equipment	-	90,080.00	90,080.00
Totals	\$1,276,794.00	\$1,693,970.98	\$2,970,764.93

*Transfer of \$25,000 was approved from original submission to project 224810, to allow the BLENNZ and RTLB to move into Parker House on Salisbury School site as an interim measure while the main project progressed.

**Contingency of 5% is lower than Ministry standard as the relocatables are landed so remaining works are above ground and costs are known. Costs are included in the costings from Fitzgeralds. The contingency allows for any unexpected costs. There are no major known risks.

Procurement and contract considerations

This has been contracted under the modular framework, using existing supplier panel. The additional costs can be instructed as a change request.

Options considered

	(Recommended) OPTION 1 Relocs from Waimea	OPTION 2 Bespoke design	OPTION 3 OMBs
Project Scope	<ul style="list-style-type: none"> Relocs from Waimea College 	<ul style="list-style-type: none"> Bespoke design 	<ul style="list-style-type: none"> OMBs
Benefits	<p>By using existing buildings there has been considerable cost saving compared to bespoke and OMB options, as the existing floor structure, wall and roof framing, interior wall and ceiling linings, mechanical systems, lighting, and power have been able to be utilised.</p> <p>Utilizing exiting building stock</p> <p>Quicker delivery as relocs already on site. They are known to us and Fitzgerald</p> <p>Have been classroom spaces so could be used as such in future if required</p>	<p>Customized space for current users.</p> <p>New build</p>	<p>Repeatable and reusable design</p> <p>New build</p>
Risks	<p>Building longevity as using existing stock –this has been mitigated by upgraded roofing and re cladding accompanied by double glazing in existing window penetrations.</p>	<ul style="list-style-type: none"> Time to deliver project and cost escalation during this time. Stakeholders have already been waiting for this facility for a number of years and have become vocal toward MoE lack of delivery Scope creep Minimizing the reuse of the space for other purposes 	<ul style="list-style-type: none"> Stakeholders have already been waiting for this facility for a number of years and have become vocal toward MoE lack of delivery. Limited design opportunity which would impact the useability of the space by these specialists.
Investment Benefit	<p>Quicker delivery by utilizing OMB framework, making good use of existing buildings on other school sites.</p>	<p>Fully customized design</p>	<p>Quicker delivery under OMB framework.</p>
Total Cost	\$2,970,764.93	\$3,800,000.00	\$5,000,000.00

Stakeholder Overview

STAKEHOLDER OVERVIEW			
Stakeholders	Informed	Risk (RAG)	Explanation
School	Y	A	All user groups, Salisbury School, Matai, TKKM o Tuiate Matangi are all supportive of having a professional hub. Relationship with Salisbury and Matai has had issues.
Te Mahau	Y	G	Supportive
Mana Whenua	Y	G	Rangitane have been consulted during project and are supportive. Already had a dawn blessing at site attended by Iwi and stakeholders.
Stakeholder Relationships			
<ul style="list-style-type: none"> What is the relationship between the school and the Ministry? Salisbury School have a history of strained relations with MoE but over the recent years a good working relationship with local office has been established. They are keen to see this project progress as it allows the demolition and rebuild of their school to progress. BLENNZ, Ko Tau Reo and RTLB all have good relationships with the MoE though they are having to manage the frustrations of local staff with their current working conditions. Sometimes relationship between Salisbury and these user groups has been strained. All user groups have had representation at PCG meetings throughout project. Salisbury School has been communicated with via Delivery Manager for each project. 			

Impact of proposed change

Impact on Scope	High	Change in scope requires additional infrastructure and carparking
Impact on Risk	High	Stakeholders could become frustrated and escalate
Impact on Schedule	High	Impact on other projects on the site
Impact on Budget	High	This would be a large portion of the 2023/24 property initiatives budget.
Impact on Stakeholders	High	No delivery will increase risk.
Impact on Benefits	High	Facility will provide a resource centre to regions deaf and low vision students and their whanau – the first of its kind for NMWC.
Impact on Procurement	Low	Variation to contract under modular framework.

Endorsement

Endorsement of proposed change:

Role	Signature	Date
Delivery Manager 9(2)(a)		
Project Accountant 9(2)(a)		
Programme Manager Sharon Wong		
Regional Infrastructure Manager Simon Cruickshank	9(2)(a)	
Procurement Manager Igor Rodrigues		

Approval

Approval from Investments Board/ Delegated Authority/ Hautū Te Puna Hanganga, Matihiko

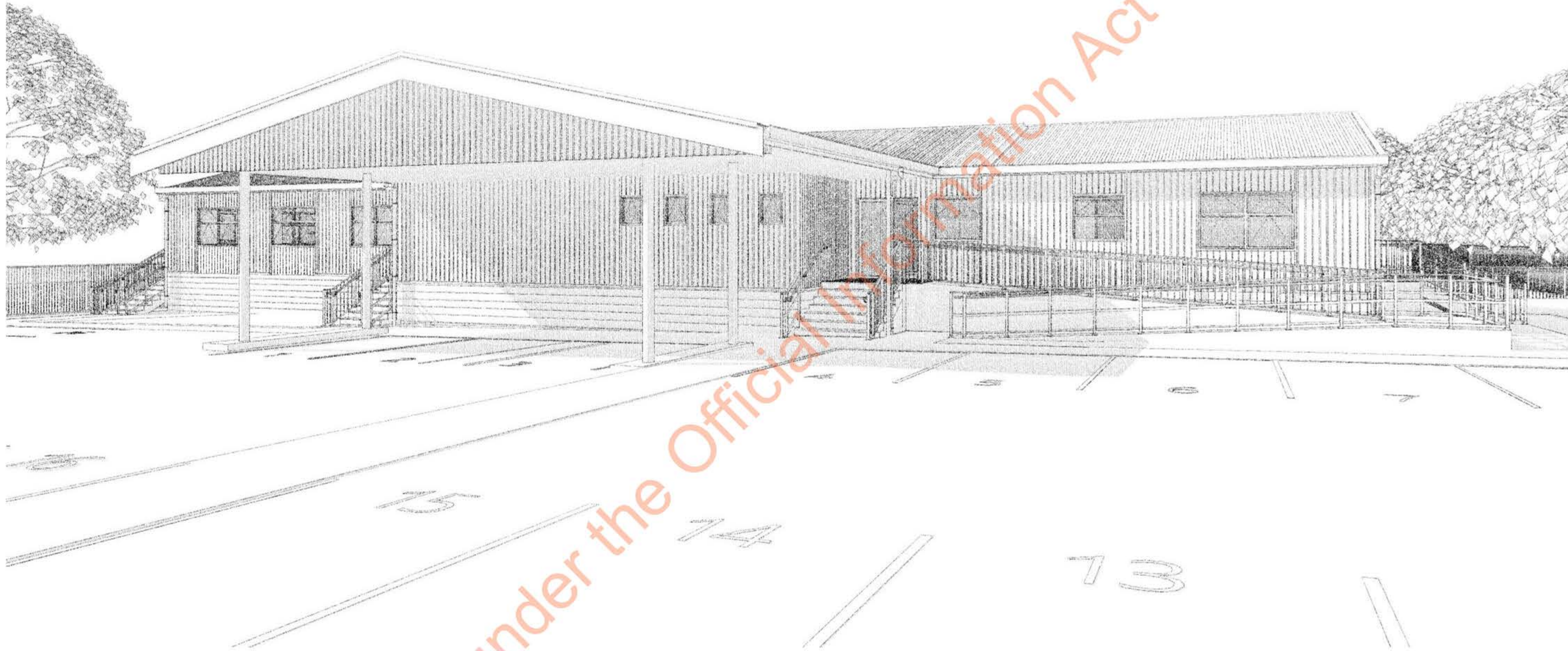
Name and Role	Decision signature	Date
9(2)(a), General Manager Asset Management	Approve / Decline	

Released under the Official Information Act 1982

Appendix 2 – EIS Benefits Framework

Strategic Goal	Schools are fit for purpose				High performing portfolio of schools		
Benefit	1	2	3	4	5	6	7
	Sustainability/condition		Quality/fit for purpose	Quality/fit for purpose	Availability/ access (Facilities)	Availability/ efficiency	Availability/ access (Land)
Feature	Core/regulatory		Core	Moderate/advanced	Core/regulatory	Core/regulatory	Core/regulatory
Benefit Name	Ensures resilient and sustainable assets		Promotes learning possibilities enabled through a safe and healthy learning environment	Enables learning possibilities through ensuring the learning environment meets the schools vision for teaching and learning	Promotes learning possibilities enabled through ensuring sufficient teaching spaces available for the roll	Promotes value for money and good asset management and efficiency of provision of space through rationalisation of space above entitlement	Enables options to build facilities to promote learning possibilities (refer to no. 5)
Measure description	Identified weather tightness and significant condition assessment issues that were present at the beginning of the project are rectified (none remain)	Identified earthquake prone issues that were present at the beginning of the project are remediated (none remain)	The new/upgraded learning environments meet DQLS standards (ie provides at least the core level internal environment (ie ventilation, heating, lighting and acoustics) to promote positive teaching and learning	All new and upgraded spaces meet the schools vision for teaching and learning as set out in the education brief	The number of teaching spaces available meet the schools entitlement based on the projected roll (build roll).	The number of teaching spaces available meet the schools entitlement based on the projected roll (build roll).	Land is purchased in the location and at the right scale based on forecasts, to provide the option of building new teaching spaces
Will the benefit be met in the current project	Yes	N/A	N/A	Yes	N/A	N/A	N/A
How Measured at the end of the project?	No WT or significant condition issues outstanding at completion – POE sign off as achieved	100% NBS for new builds, 67% NBS for redevelopments achieved – POE sign off as achieved	DQLS standards achieved – POE sign off as achieved	School signs off that the design meets their vision – POE sign off as achieved	Teaching Space SPG code achieved	Teaching Space SPG code achieved	Land purchased in agreed locations

Released under the Official Information Act 1982



Architectural Drawing Schedule			Architectural Drawing Schedule		
ID	Issue	Layout Name	ID	Issue	Layout Name
A0.01	4E	Document Transmittal	A2.08	5B	Interior Doors Schedule
A0.02	5B	Cover Schedule and Render	A3.01	5B	Sections
A0.03	5B	Cultural Narrative	A3.02	5B	Sections
A0.04	5B	Site Setout and Survey Plan	A4.01	5B	Base of Wall Details
A0.04	5B	Siteworks Plan	A4.02	5B	Cladding Details
A1.01	2G	Site Location Plan - Relocatables	A4.03	5B	Axon Typical Details
A1.02	2G	Relocation Floor Plan	A4.04	5B	Roof Details
A1.03	2D	Relocatable Elevations	A4.05	5B	General Details
A1.04	2D	Photos in existing location	A4.06	5B	Handrail Typical Details
A1.05	2E	Erosion & Sediment Control Plan	A5.01	5B	Plumbing and Site Services Plan
A1.06	2E	Site Coverage Plan	A5.02	5B	Mechanical, Electrical and Fire
A2.01	5B	Existing Floor Plan	EX		Toilet Suite Options
A2.02	5B	Proposed Floor Plan			
A2.03	5B	Framing Setout Plan			
A2.04	5B	Roof Framing Plan			
A2.05	5B	Roof Cladding Plan			
A2.06	5B	Proposed Elevations			
A2.07	5B	Exterior Window and Door Schedules			

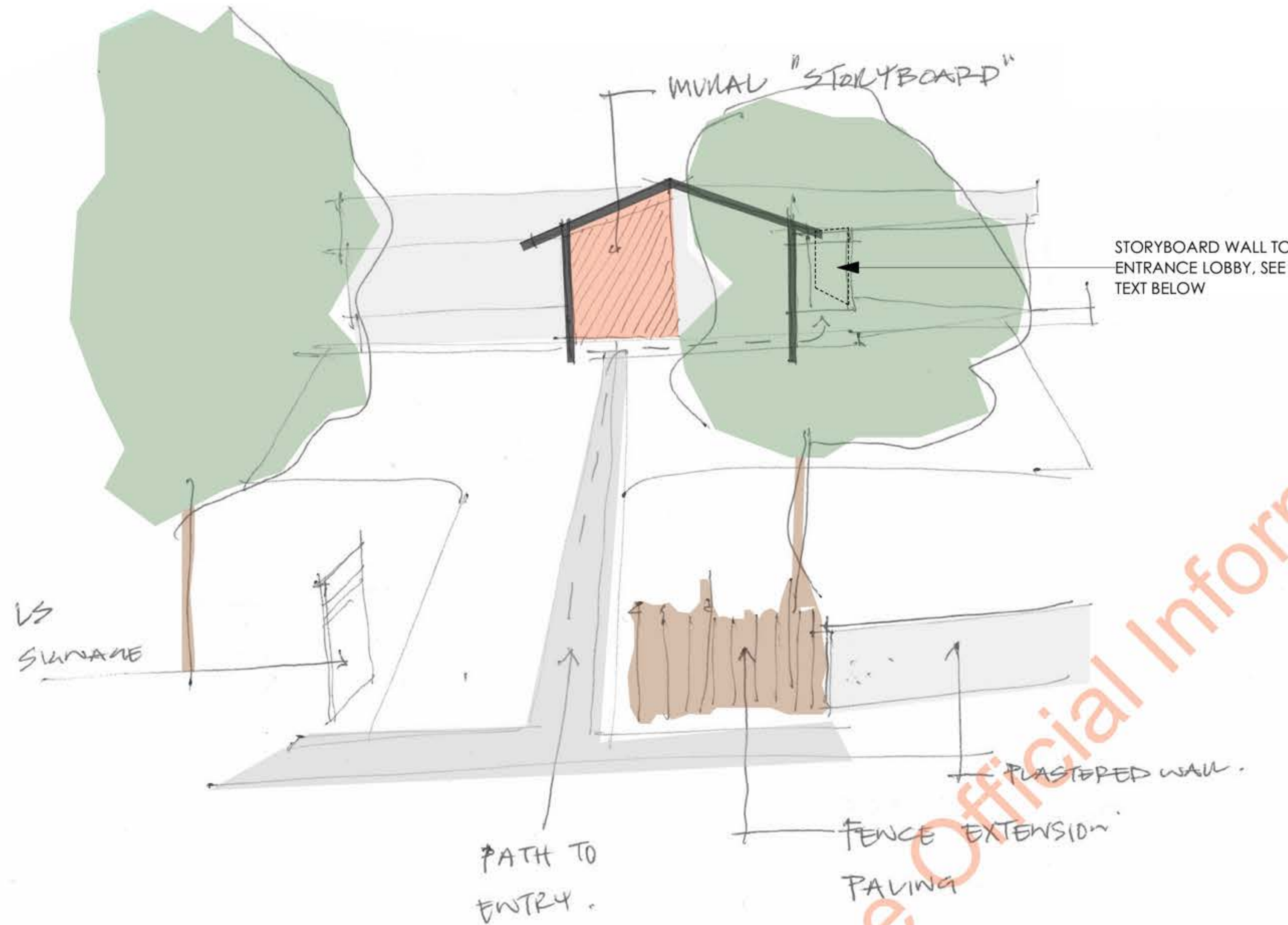
site conditions	
wind zone	H
wind region	A
exposure zone	C
earthquake zone	2
site description	
67 Salisbury Road Richmond	
Legal Description: Pt Lot 1 DP 18938	

5B 18/08/2023 For Construction Issue
 4D 7/03/2023 3C RFI Response
 4B 14/02/2023 3C Application Rev
 4A 10/02/2023 3C Application
 3E 8/02/2023 Progress Set
 3D 2/02/2023 Eave Detail Review
 3C 24/01/2023 Progress for Consultants
 ID Date Transmittal Set Name

9(2)(b)(ii)

Salisbury Education Support Building
 at 67 Salisbury Road, Richmond
 for Ministry of Education

scale @A1
 project ID #22-32
 drawing A0.01 5B
 do not scale from drawings, confirm all dimensions on site, confirm any discrepancies with the architect prior to construction.



'Palisade' fencing

"For too long, it's been a problem that's just been too big. I want to change that narrative. Dieter Uchtdorf said, 'Stand close together and lift where you stand'. We can all do that. Stand close together, get that shared understanding. By each of us taking responsibility for the immediate spaces we occupy, regardless of the position we hold, if we lift where we stand, with our efforts to improve teaching and learning for ākonga Māori, then we will make a difference. We will move the system as a whole."

- Dr Melanie Riwai-Couch

Proposed storyboard text: Although they have left behind a rich archaeological record, exactly who the first peoples to settle in Whakatū is shrouded in myth. 'Waitaha' is the name often used to describe these people. Tribes of Kurahaupō waka origin later settled the area. Ngāti Mamoe, Ngāti Tūmatakōkiri and Ngāi Tara were early occupants, followed by Ngāti Kuia, Rangitāne, and Ngāti Apa. These Kurahaupō peoples bequeathed to the history of Whakatū the oral traditions of Māui and Kupe. One such tradition relates to the hill range running behind Nelson, which according to tradition, was part of Māui's fishing line used by the Polynesian explorer to fish up the North Island. The Kupe traditions also account for some of Whakatū's distinctive geographical features.



Rangitāne

Te Rūnanga a Rangitāne o Wairau

58	18/08/2023	For Construction Issue
48	14/02/2023	BC Application Rev
3E	8/02/2023	Progress Set
3C	24/01/2023	Progress for Consultants
3A	13/01/2023	Base Drawings for Fire
ID	Date	Transmittal Set Name

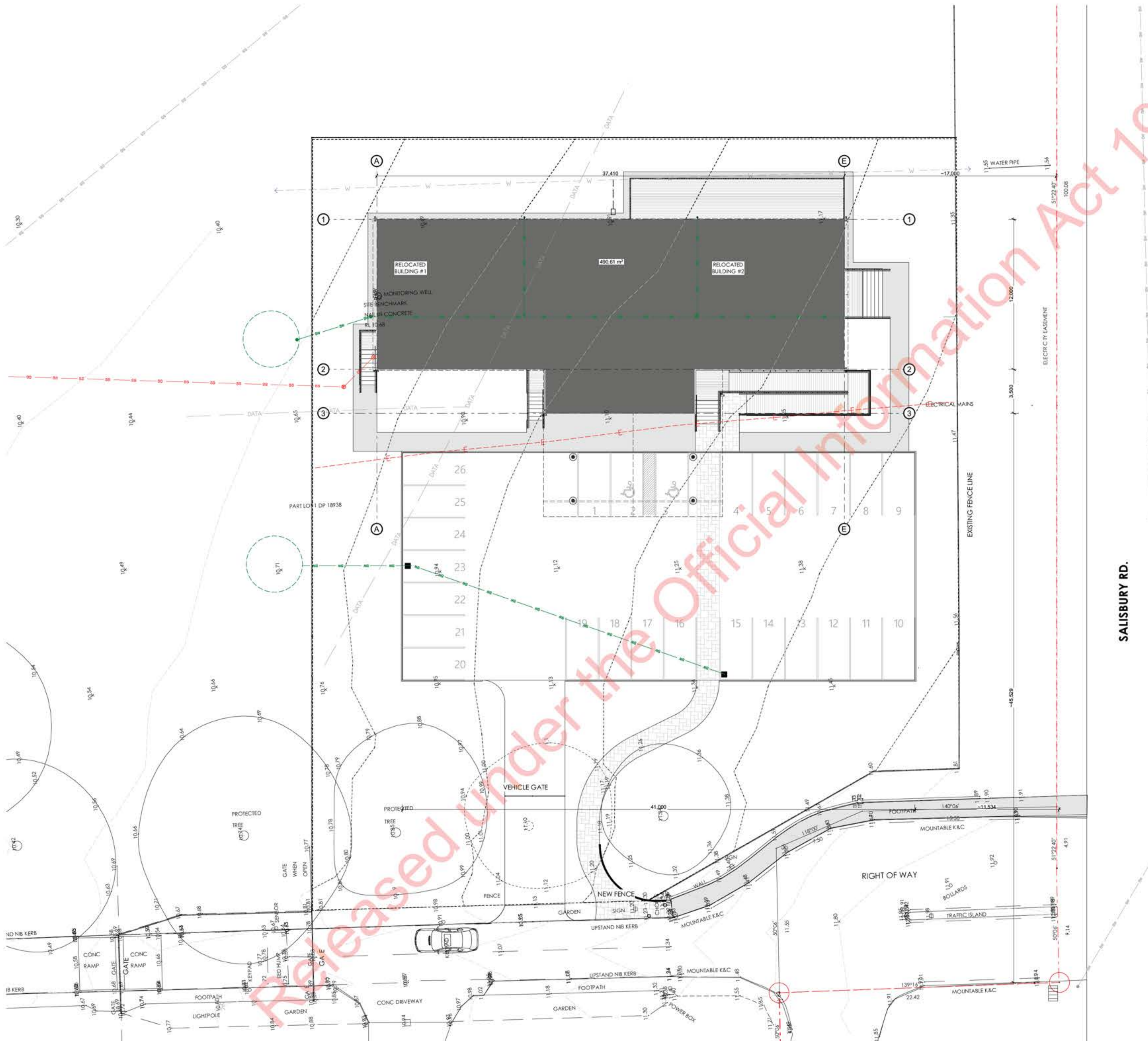
9(2)(b)(ii)

Salisbury Education Support Building
for Ministry of Education

Cultural Narrative

at 67 Salisbury Road, Richmond
issued 18/08/2023
scale @A1 2:1, 1:1, 3260, 1:0.6250
project ID #22-32
drawing A0.02.5B

do not scale from drawings, confirm all dimensions on site, confirm any discrepancies with the architect prior to construction.



SITE LOCATION

Exposure Zone - Distance to Estuary
Not to Scale

Site Survey Plan
Scale 1:150

- 5B 18/08/2023 For Construction Issue
- 4B 14/02/2023 BC Application Rev
- 4A 10/02/2023 BC Application
- 3E 8/02/2023 Progress Set
- 3C 24/01/2023 Progress for Consultants
- 3A 13/01/2023 Base Drawings for Fire
- ID Date Transmittal Set Name

site conditions	
wind zone	H
wind region	A
exposure zone	C
earthquake zone	2

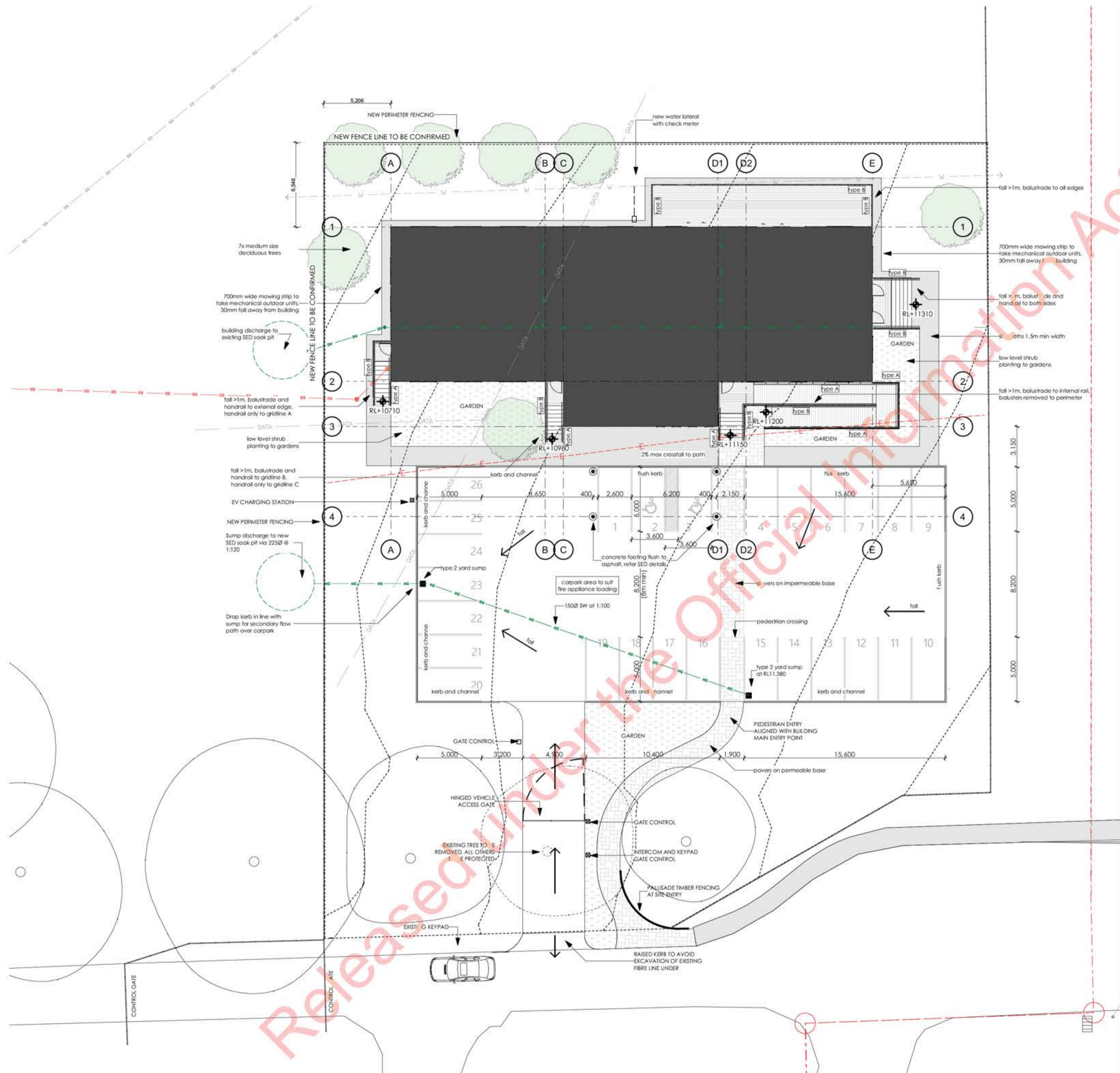
site description
67 Salisbury Road Richmond
Legal Description; Pt Lot 1 DP 18938

9(2)(b)(ii)

Salisbury Education
Support Building
for Ministry of Education
Site Setout and Survey Plan

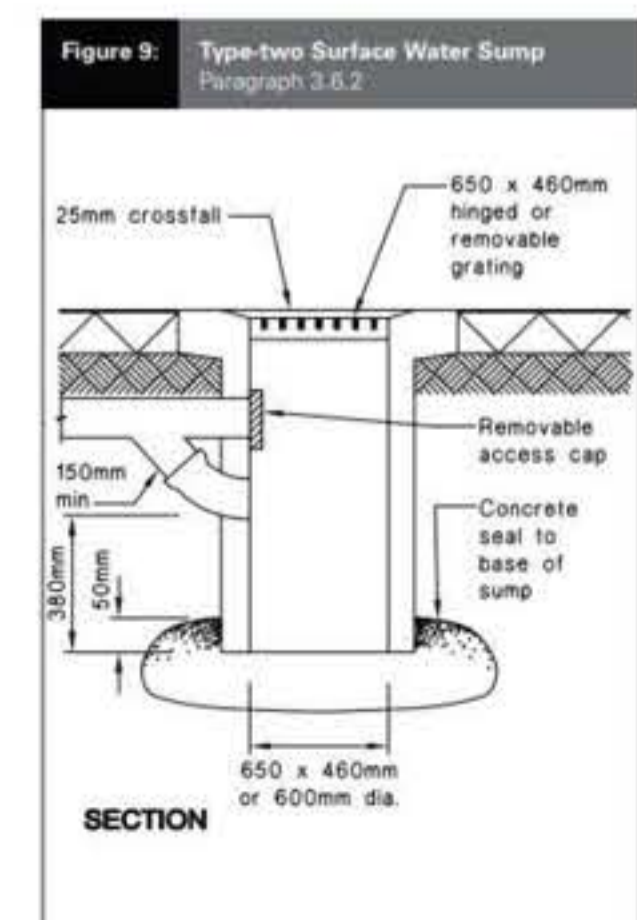
at 67 Salisbury Road, Richmond
issued 18/08/2023
scale @A1 1:150
project ID #22-32
drawing A0.03.5B

do not scale from drawings, confirm all dimensions on site, confirm any discrepancies with the architect prior to construction.



General Notes
 Allow for security and carpark lighting as part of contract.
 Care to be taken in planting of trees around new and existing services.
 Selected pavers installed over impermeable base to carpark area, and permeable base to pathway adjacent driveway.
 Carpark area specific design covered by contractor as designed, with flush kerbs as identified and allowance for secondary flow across the site.
 Handrail / balustrade types indicated on plans:
 Type A = fall < 1m, handrail, midrail, kickrail
 Type B = fall > 1m, full balustrade

Salisbury road



58	18/08/2023	For Construction Issue
5A	14/08/2023	Landing Levels
4D	7/03/2023	BC RFI Response
4C	15/02/2023	Siteworks Dimensions
4B	14/02/2023	BC Application Rev
4A	10/02/2023	BC Application
3E	8/02/2023	Progress Set
ID		Transmittal Set Name

9(2)(b)(ii)

Salisbury Education Support Building
 for Ministry of Education

Siteworks Plan
 at 67 Salisbury Road, Richmond
 issued 18/08/2023
 scale @A1 1:150
 project ID #22-32
 drawing A0.04.5B

do not scale from drawings, confirm all dimensions on site, confirm any discrepancies with the architect prior to construction.

Demolition Notes

Relocated Buildings

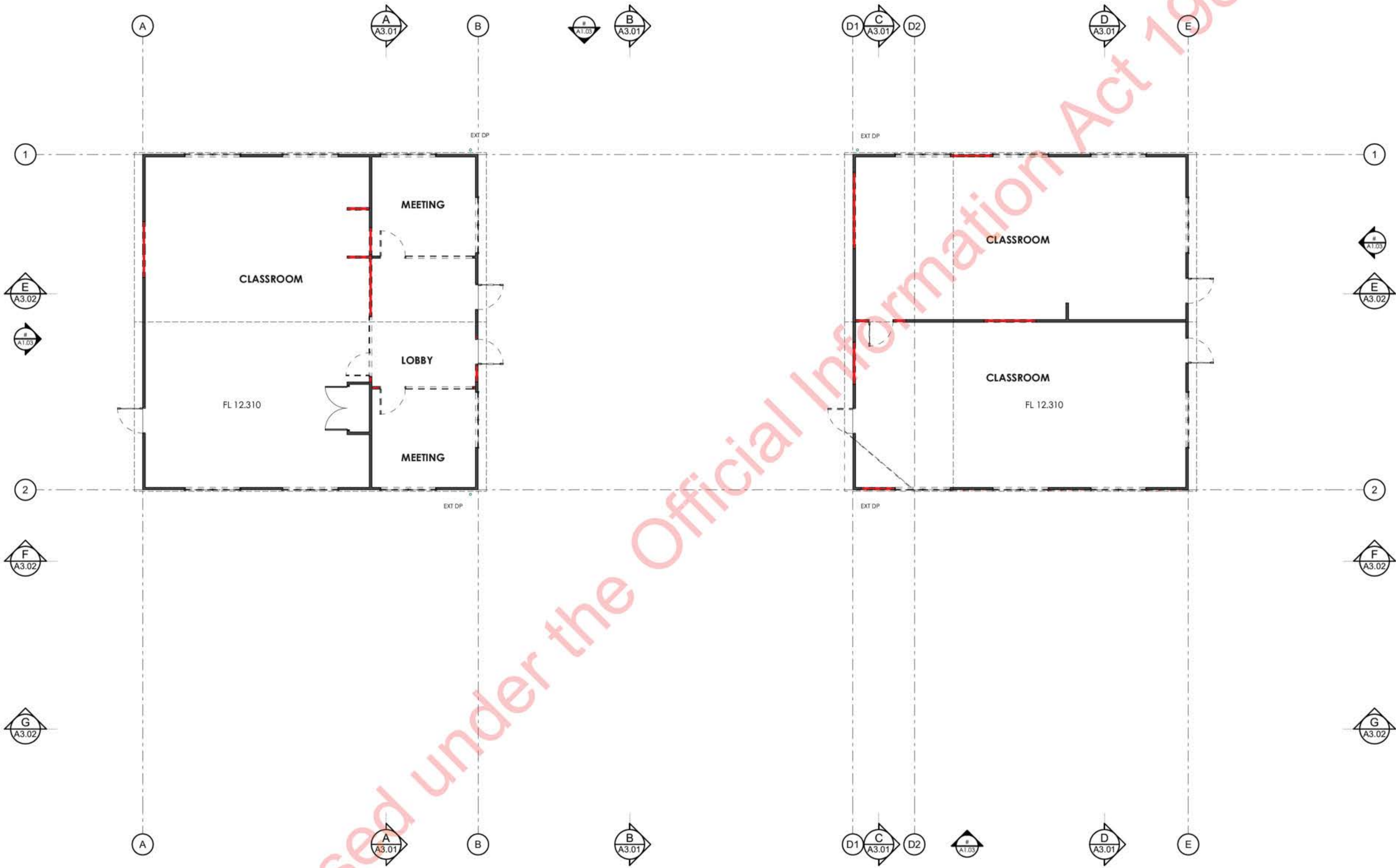
Relocated classroom blocks from Waimea College, located on new foundations as per stage 1 foundation consent BC221452.

Existing exterior wall framing, roof trusses, floor framing and ceilings to remain. Interior linings to exterior walls to be removed to allow for additional insulation, strapping and new linings.

All exterior wall cladding and underlay to be removed.

All exterior windows and doors to be removed, openings to be made good to suit new windows.

All existing spouting and downpipes to be removed.



- 58 18/08/2023 For Construction Issue
- 48 14/02/2023 BC Application Rev
- 4A 10/02/2023 BC Application
- 3E 8/02/2023 Progress Set
- 3A 13/01/2023 Base Drawings for Fire
- ID Date Transmittal Set Name

Existing Floor Plan
Scale 1:75

Salisbury Education
Support Building
for Ministry of Education

Existing Floor Plan

at 67 Salisbury Road, Richmond
issued 18/08/2023
scale @A1 1:75
project ID #22-32
drawing A2.01.5B

do not scale from drawings, confirm all dimensions on site, confirm any discrepancies with the architect prior to construction.

General Notes

Structural Engineer Design

Refer to SED documentation by AMK Structural Engineers structural design elements including bracing, foundations, roof framing & lintels.

Wall Framing

90x45 @ 600crs typically to internal walls, H1.2 SG8 pine or douglas fir.

140x45 @ 600crs H1.2 SG8 to external framing where new.

Existing external framing 90x45 @ 400crs, additional insulated strapping to internal face per specification using 45mm strapping with polyester batts

Fire Alarm Systems

Refer to fire report for new type 4 fire alarm systems to building. New FAP to be located as per FENZ.

Accessibility

Ramp and Stairs

Entry ramp as per NZBC D1/AS1, gradient 1:15 max per MoE design guidelines, landing and ramps to comply with slip resistance of NZBC D1 2.1.1.

Accessible ramp to have an upstand no less than 75mm in height on any drop-off side of ramp (NZBC D1 3.1.3)

Leading edges of treads or nosings on accessible steps to be rounded to avoid a sharp edge, and be colour contrasted with the rest of the tread as per NZBC D/AS1 paragraph 4.1.7.

Accessible Signs:

- Accessible signs shall identify:
 - accessible car parks
 - accessible entrances
 - services available in the building
 - accessible routes within building
 - location of accessible toilet

All signs to be clearly visible and shall display the international symbol of access. Signs to be fixed between 1400mm and 1700mm above floor level to the lower edge of sign plate.

NZ54121 4.10.4.1 Door visibility:

- Contrast in lightness - darkness of colour shall be achieved between:
 - door furniture and the door itself;
 - either door architrave frame and the wall, or the door and the wall;
 - the door and the floor.

H1/AS2 Insulation

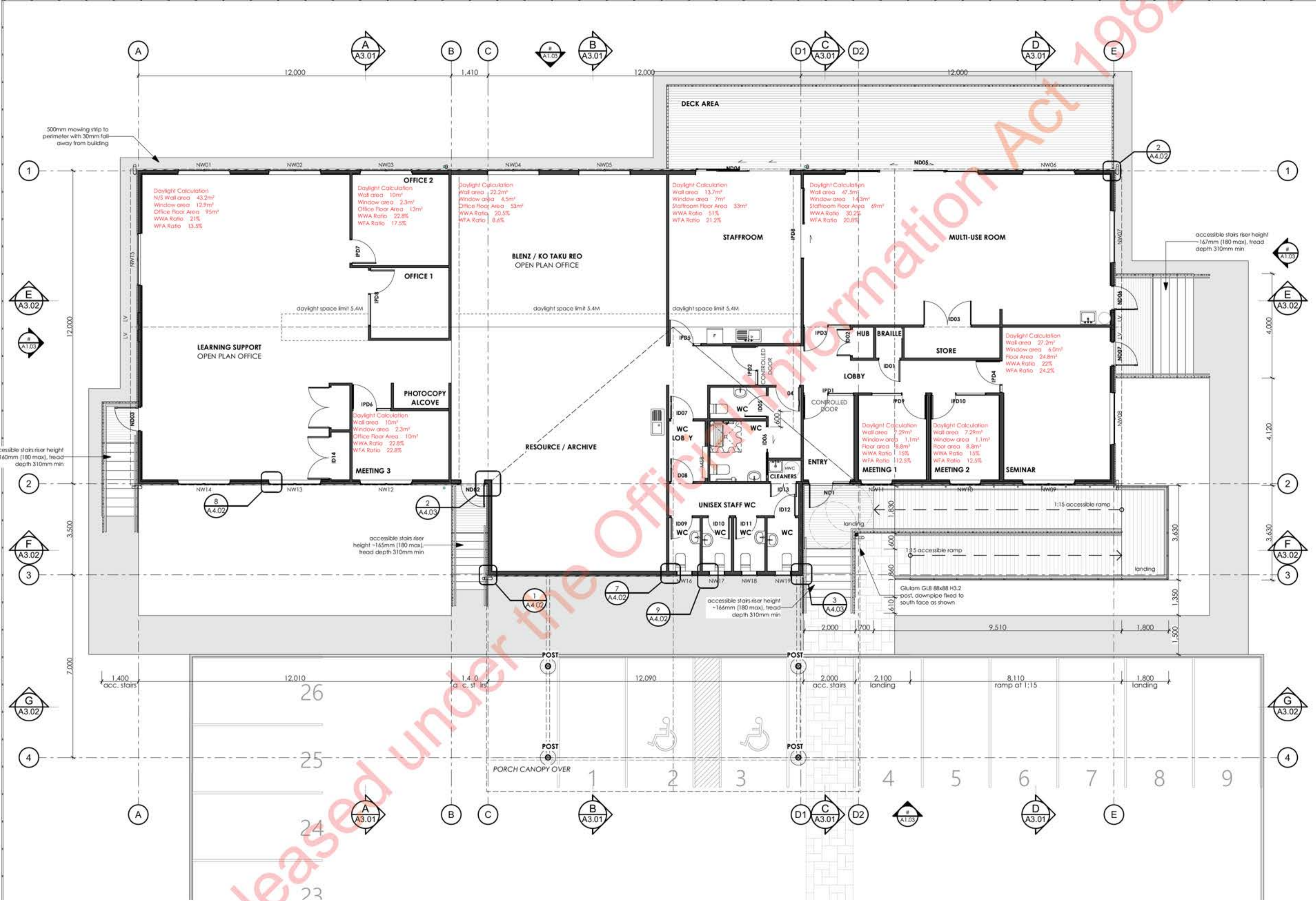
Floor area	475m ²
Gross wall area	281m ²
Net wall area	210.7m ²
Window area	70.3m ²
Gross / net roof area	472.3m ²

Total window ratio 25%
Schedule method ratio <30% OK

Schedule Method Insulation

Element	Req.	Prop.
Walls new	R2.7	R3.03
Walls exist + strap	R2.7	R3.62
[R2.8 existing + R1.3 strap]		
Floors all	R2.2	R2.71
Roof new	R5.0	R6.68
[R2.9 + R3.6]		
Roof exist	R5.0	R7.33
[R3.4 existing + R3.6]		
Roof perimeter	R2.5	R2.5
Windows / doors	R0.37	R0.37

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- 4B 14/02/2023 BC Application Rev
- 4A 10/02/2023 BC Application
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Proposed Floor Plan
Scale 1:75

Released under the Official Information Act 1982



do not scale from drawings, confirm all dimensions on site, confirm any discrepancies with the architect prior to construction.

Framing Notes

Structural Engineer Design
Refer to SED documentation by AMK Structural Engineers structural design elements including bracing, foundations, roof framing & lintels.

Wall Linings

13mm GIB Aqualine generally to walls and ceilings of toilet cubicles and accessible bathroom.

13mm GIB Toughline installed horizontally to 1.2m all other spaces except resource / archive, offices 1/2, and open plan office areas - see plan markups.

Acoustic wall - G81UC45 - STC61 2/13mm each side, acoustic resilient mount to one side, see data sheet. Horizontal outer layer below 1.2m to be GIB Toughline.

Acoustic wall - GST 133 - STC43 2/13mm one side, 1/13mm one side, see data sheet. Outer layer below 1.2m as GIB Toughline.

13mm GIB Standard to remainder

Floor Framing

Structural Engineer Design
Refer to SED documentation by AMK Structural Engineers structural design elements including bracing, foundations, roof framing & lintels.

Floor Framing Notes
All new floor framing SG8 pine, H1.2 treatment typically, increased to H3.2 under wet areas.

All deck framing, stairs and ramps H3.2 with stainless steel fixings.

All deck joists to have solid noggings at mispan and ends typ.

500mm wide paving strip around full perimeter of building and deck, refer to siteworks plan.

DPM ground cover to be installed to building extent, lapped up to base boards on perimeter

Subfloor ventilation provided through 20mm gaps between base boards to perimeter.

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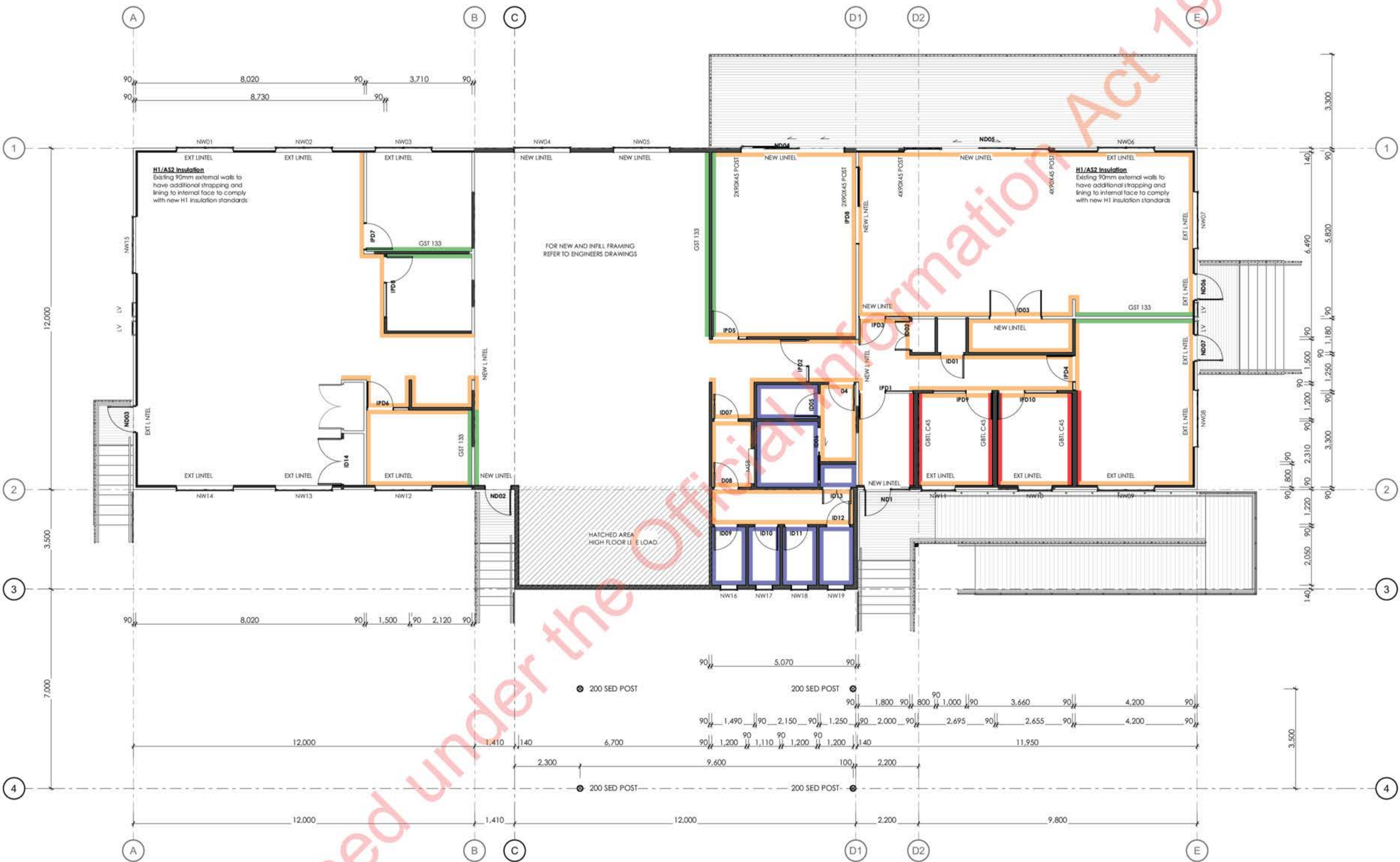
9(2)(b)(ii)

Framing Setout Plan

at 67 Salisbury Road, Richmond
issued 18/08/2023
scale @A1 1:75
project ID #22-32
drawing **A2.03.5B**

do not scale from drawings, confirm all dimensions on site, confirm any discrepancies with the architect prior to construction.

FRAMING SETOUT PLAN
Scale 1:75

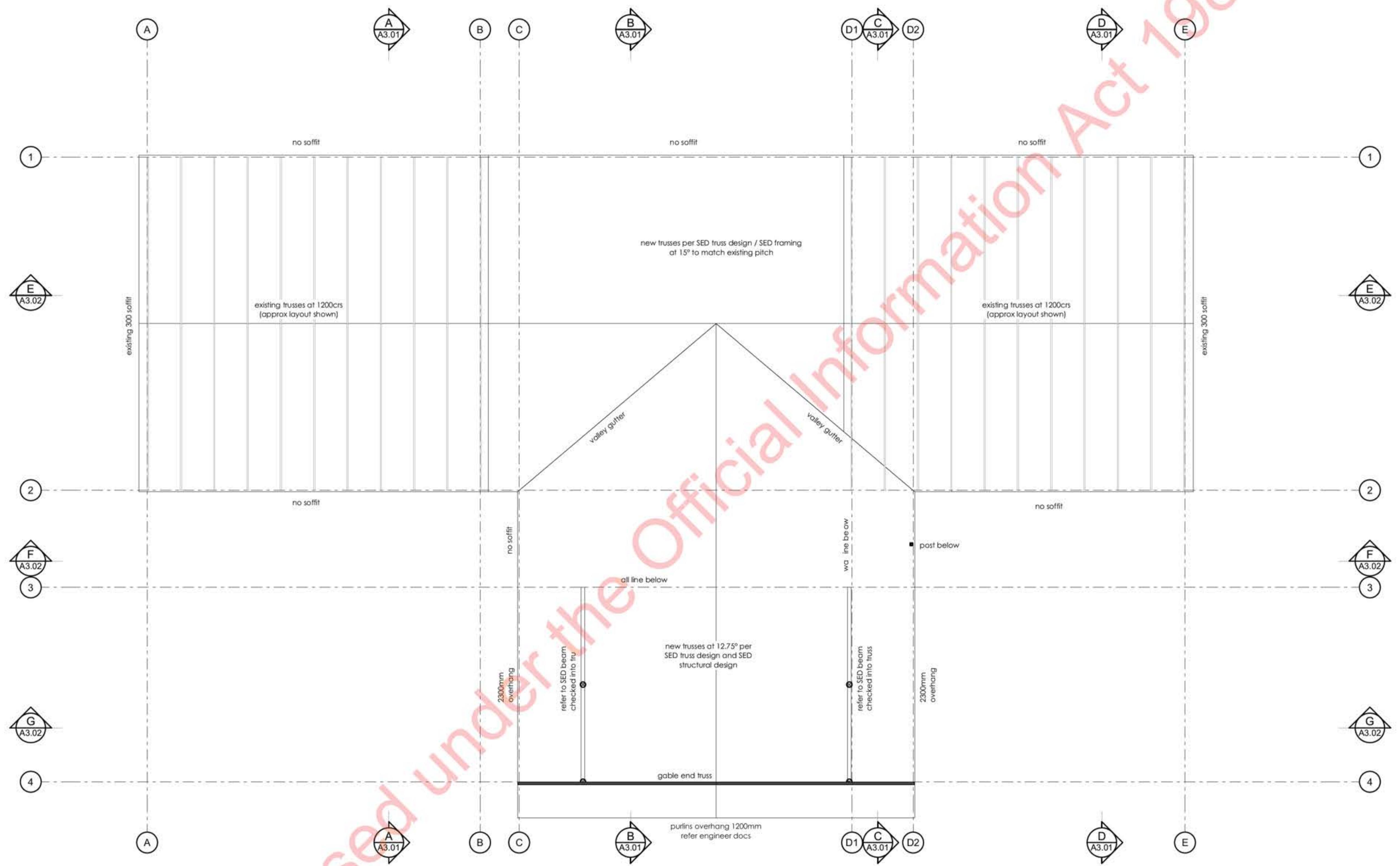


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Roof Framing Notes

Purlins and Fixings
 Existing purlins and trusses to remain - 90x45 at 1000c/s cut between trusses.
 Purlins to new roof area 90x45 @ 900c/s, fixed over 20x45 counter battens in line with each truss over selected roof underlay - see detail.
 Purlin fixings: type U - 1/14g self-drilling type 17 screw, 100mm long, or 5.35kN alternative fixing.

Roof Plane Bracing
 All existing roof plane bracing to remain. Refer to engineers design documentation for new roof area.



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Roof Framing Plan
 Scale 1:75

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9(2)(b)(ii)

Salisbury Education Support Building
 for Ministry of Education

Roof Framing Plan
 at 67 Salisbury Road, Richmond
 issued 18/08/2023
 scale @A1 1:75
 project ID #22-32
 drawing **A2.04.5B**

do not scale from drawings, confirm all dimensions on site, confirm any discrepancies with the architect prior to construction.

Roofing Notes

Roof Cladding
Existing corrugated profile roof cladding to remain where shown.

Bottom row of fixings to be carefully removed and replaced with larger head screws as part of new eave flashing installation.

New roofing 0.558MT corrugated profile, installed per above-sheathing method - i.e:
- roofing metal
- dpc over purlins
- 20mm counter battens
- roof underlay
- roof structure / trusses

Note roof underlay to be carefully selected in coordination with contractor in response to maximum exposure time of underlay used. Proclima Mento 3000 to be used if >7 days UV exposure is anticipated.

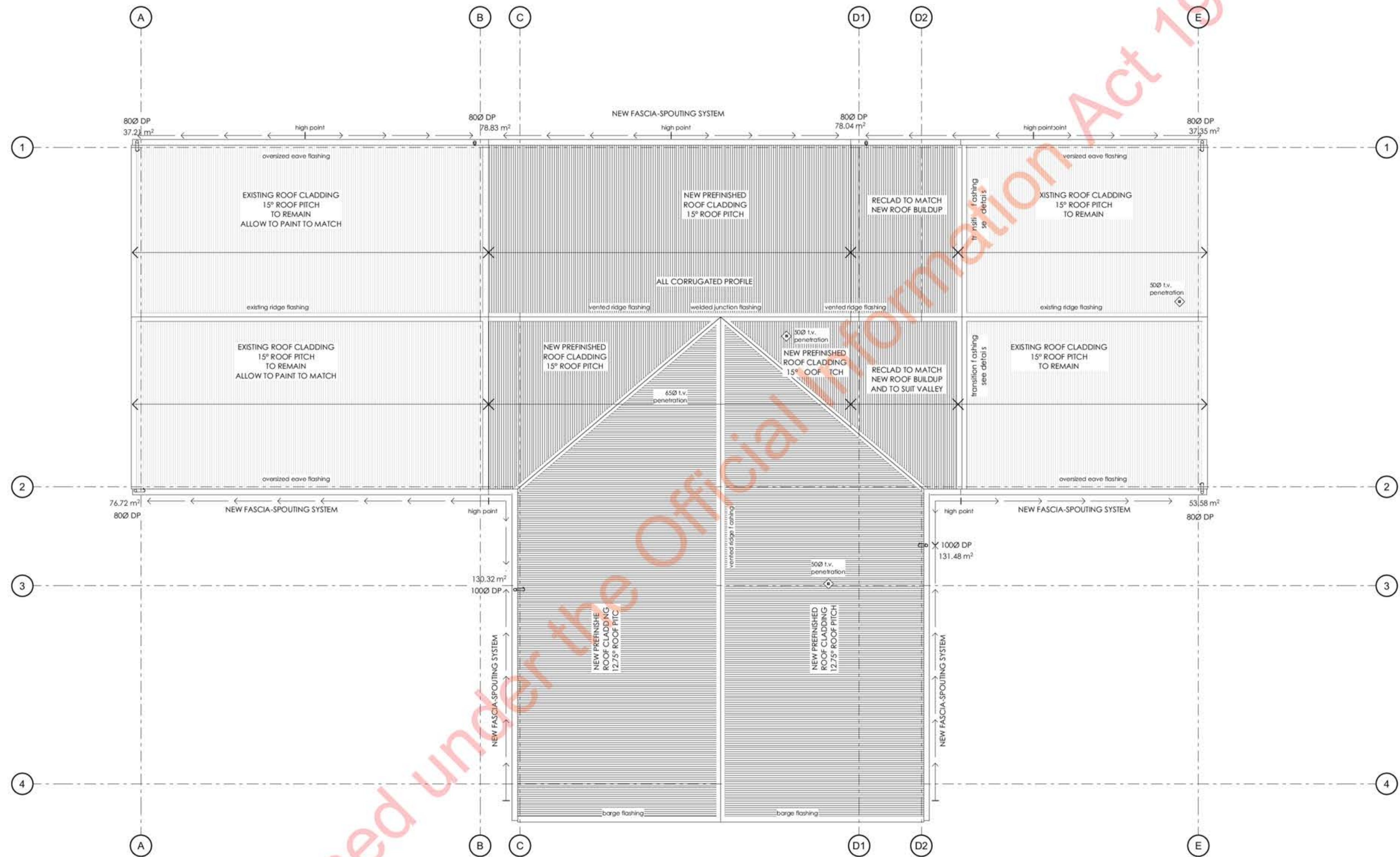
Spouting and Drainage
Rainfall intensity 100mm/hr as per MoE minimum design loads.
Stormwater roof area calculations completed using NZMRM CoP V3:

New roof areas
Roof gutter type: 175 box gutter
Cross sectional area: 18,375mm²
Max roof area per CoP = 194m²

Existing roof areas
Roof gutter type: 175 box gutter with reduced back height
Cross sectional area: 11,375mm²
Max roof area per CoP = 110m²

PVC Downpipes
800 cross sectional: 4537mm²
Max roof area per CoP = 112.5m²

1000 cross sectional: 7626mm²
Max roof area per CoP = 187m²



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3A	13/01/2023	Base Drawings for Fire
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ROOF CLADDING PLAN
Scale 1:75



Salisbury Education
Support Building
for Ministry of Education

Roof Cladding Plan
at 67 Salisbury Road, Richmond
issued 18/08/2023
scale @A1 1:75
project ID #22-32
drawing A2.05.5B

do not scale from drawings, confirm all dimensions on site, confirm any discrepancies with the architect prior to construction.



E-01 Proposed North Elevation
Scale 1:75

BUILDING ENVELOPE RISK MATRIX		
Generally - Worst Case		
Risk Factor	Risk	Severity Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Medium risk	1
Eaves width	Very high risk	5
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		8

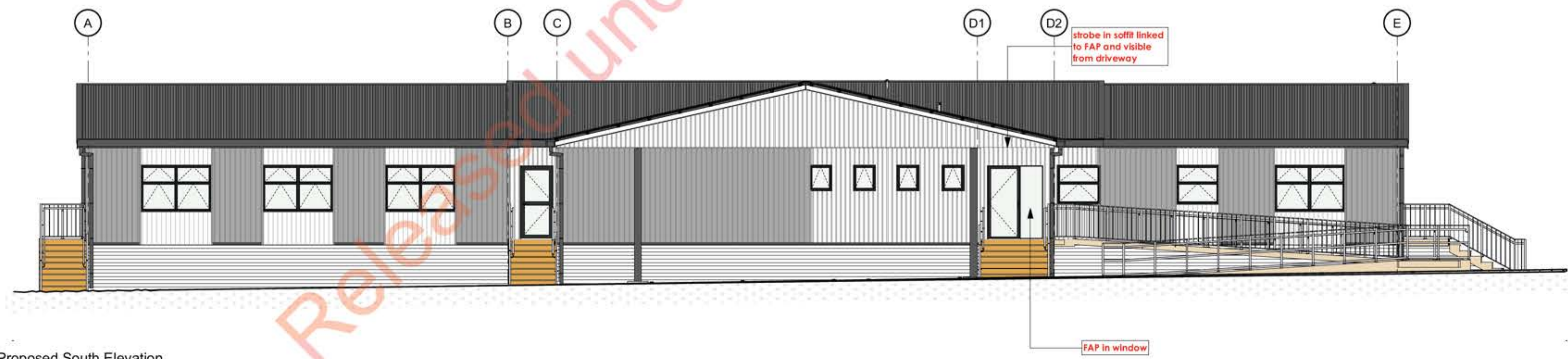
Elevation Notes
Wall Claddings
 All exterior walls to have new cladding installed over 7mm Ecoply rigid air barrier and 20mm top vented cavity per MoE design guidelines.
 Cladding 1 - Plumline or similar five-rib profile vertical metal cladding, Coloursteel Endura 0.55BMT, colour per finishes schedule.
 Cladding 2 - James Hardie Axon panel, 135mm groove pattern, paint finish per finishes schedule.
 Base of all cladding to have H3.2 block with flashing over as bottom edge protection - see details.
 Base boards - 140x20 H3.2 SGB pine at 160c/s around entire perimeter of building (where there is no deck), and around deck, ramp and stairs.
 All handrails and balustrades stainless steel - refer PS1 design.
 All decking composite Modwood as per specifications, compliant with D1/AS1 for slip resistance.
 All exterior verandah posts to be painted per finishes schedule.
 Refer emergency lighting design for visibility at changes in level.



E-04 Proposed West Elevation
Scale 1:75



E-02 Proposed East Elevation
Scale 1:75



E-03 Proposed South Elevation
Scale 1:75

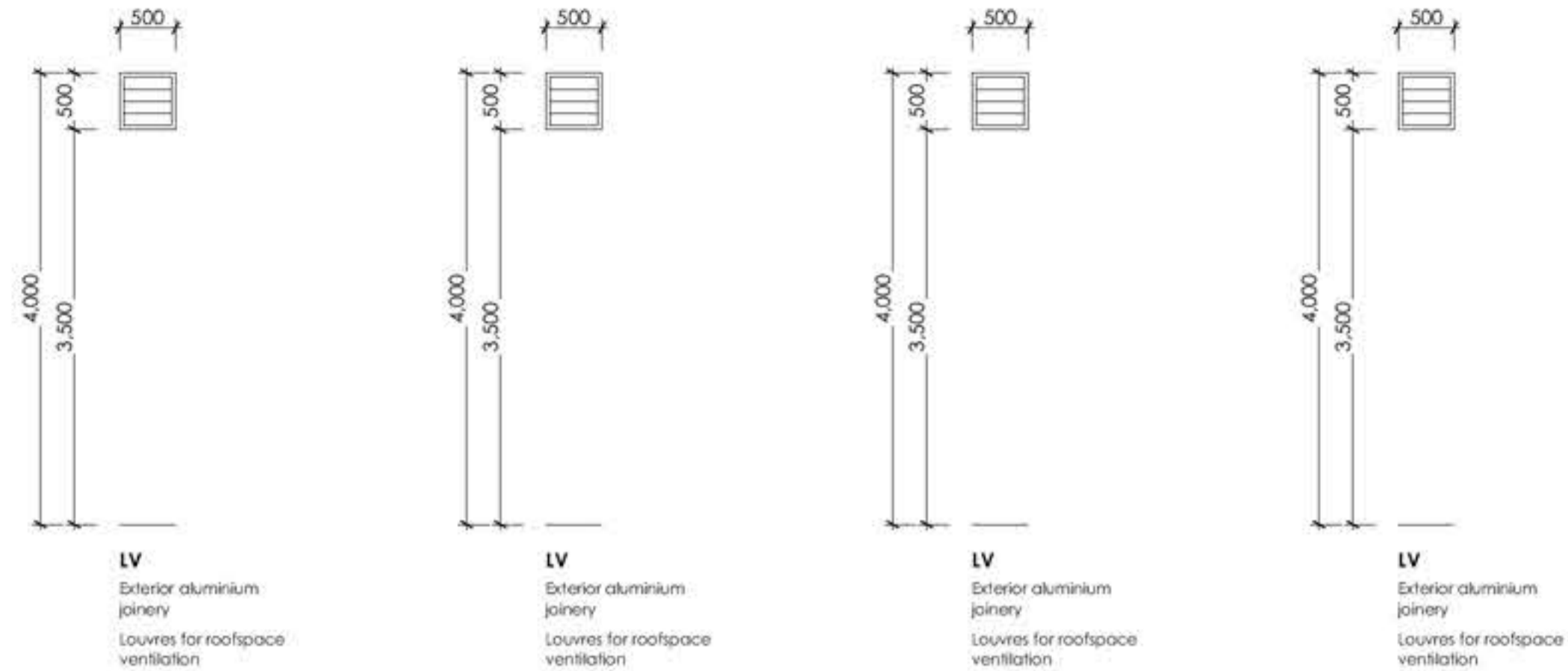
ID	Date	Description
58	18/08/2023	For Construction Issue
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4B	14/02/2023	BC Application Rev
4A	10/02/2023	BC Application
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8(2)(b)(ii)

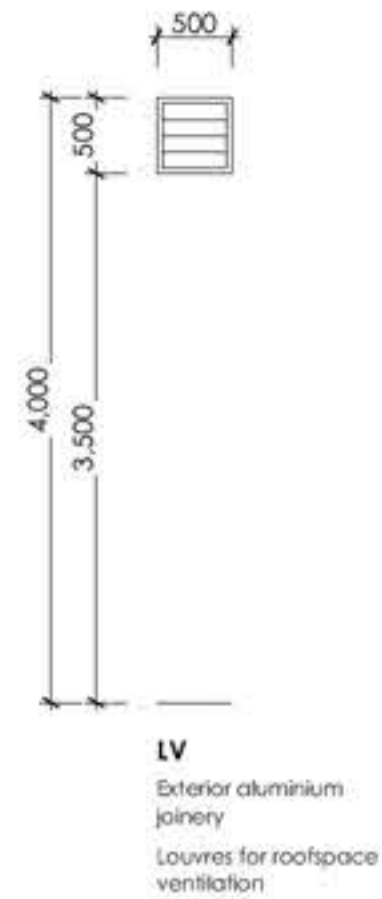
Salisbury Education Support Building
for Ministry of Education

Proposed Elevations
 at 67 Salisbury Road, Richmond
 issued 18/08/2023
 scale @A1 1:75
 project ID #22-32
 drawing A2.06.5B

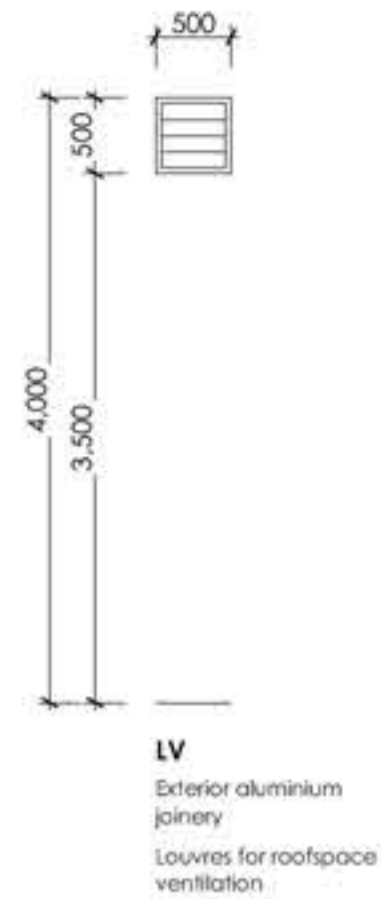
do not scale from drawings, confirm all dimensions on site, confirm any discrepancies with the architect prior to construction.



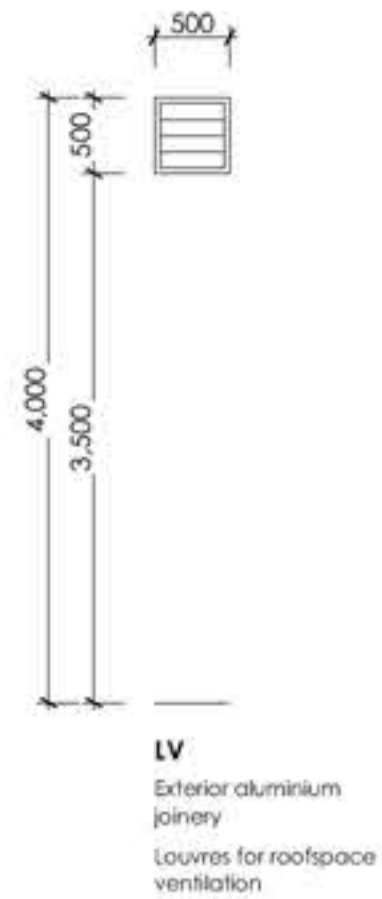
LV
Exterior aluminium joinery
Louvers for roofspace ventilation



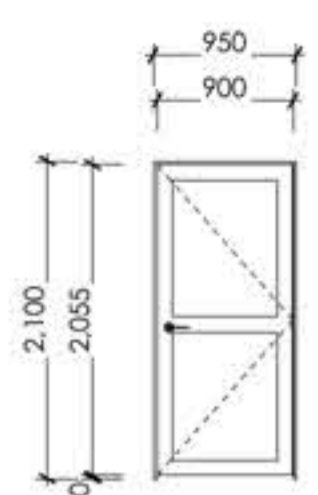
LV
Exterior aluminium joinery
Louvers for roofspace ventilation



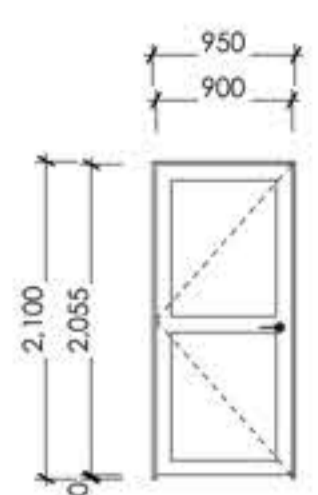
LV
Exterior aluminium joinery
Louvers for roofspace ventilation



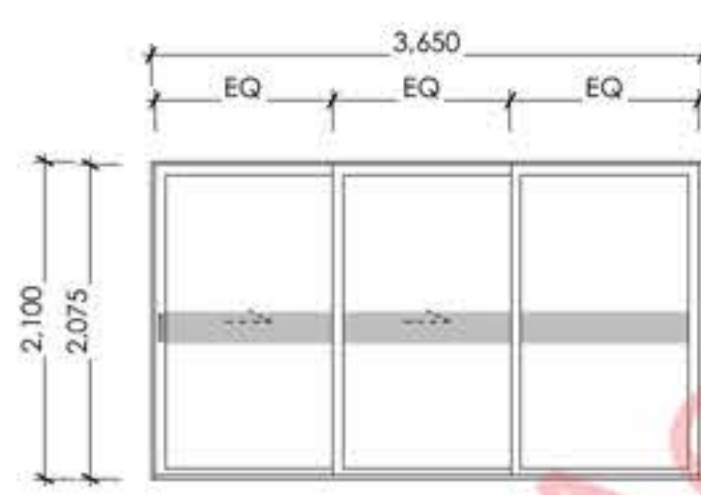
LV
Exterior aluminium joinery
Louvers for roofspace ventilation



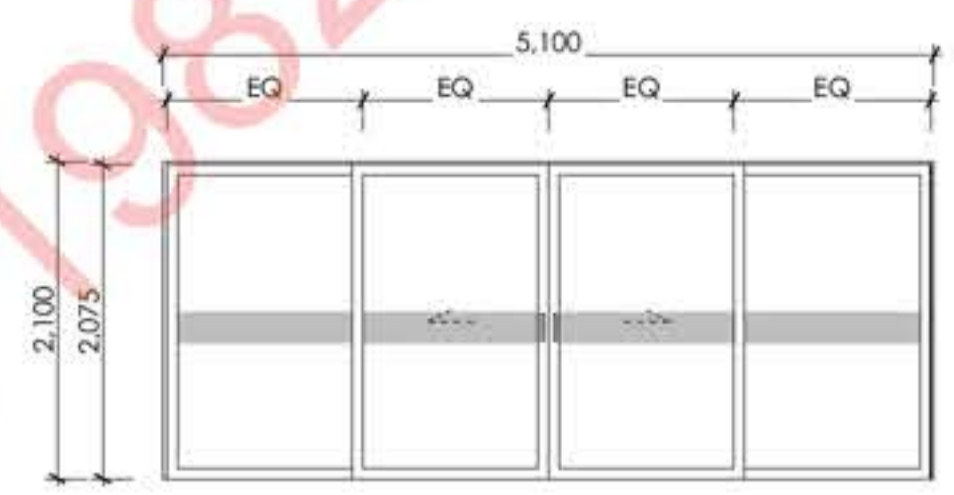
ND02
Exterior aluminium joinery
Grade A safety glazing



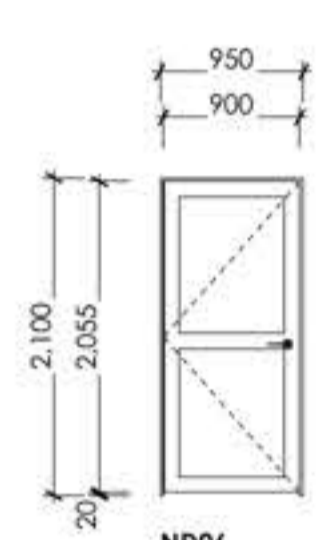
ND03
Exterior aluminium joinery
Grade A safety glazing



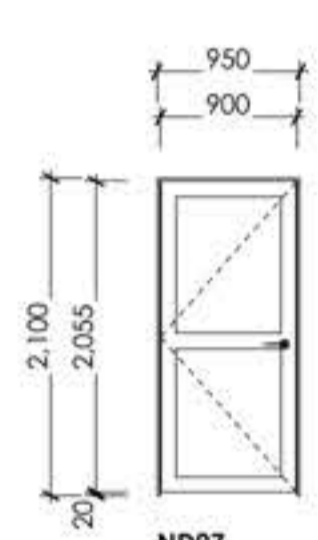
ND04
Exterior aluminium joinery
Grade A safety glazing
Manifestation per NZS422



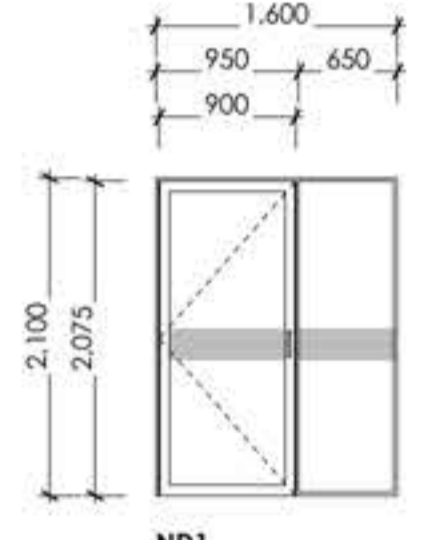
ND05
Exterior aluminium joinery
Grade A safety glazing
Manifestation per NZS422



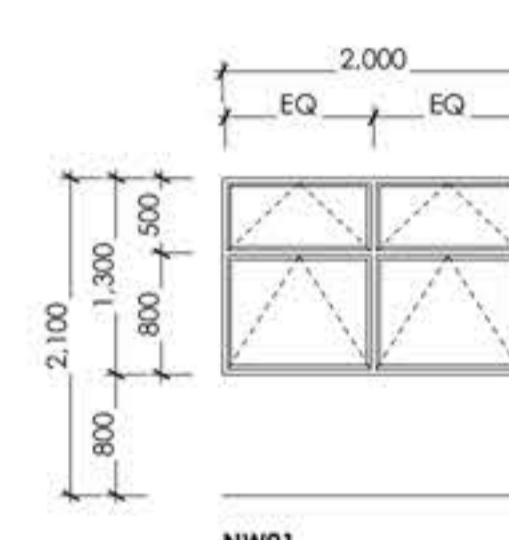
ND06
Exterior aluminium joinery
Grade A safety glazing



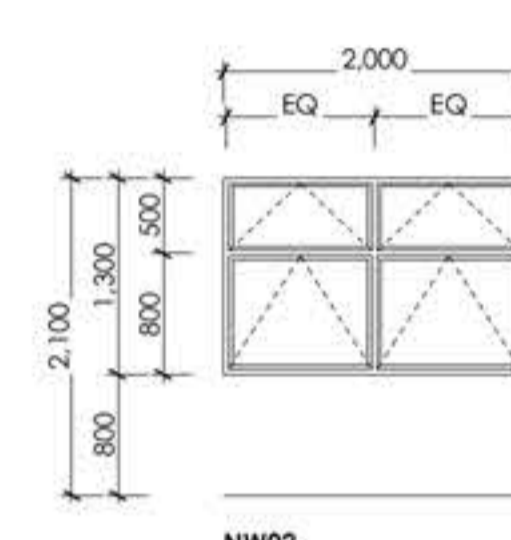
ND07
Exterior aluminium joinery
Grade A safety glazing



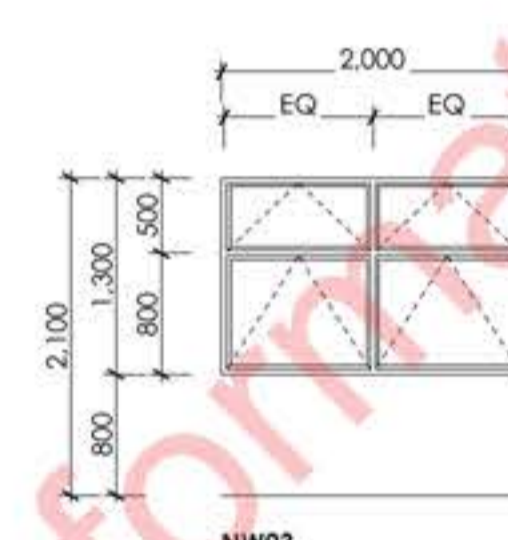
ND1
Exterior aluminium joinery
Grade A safety glazing
Manifestation per NZS4223



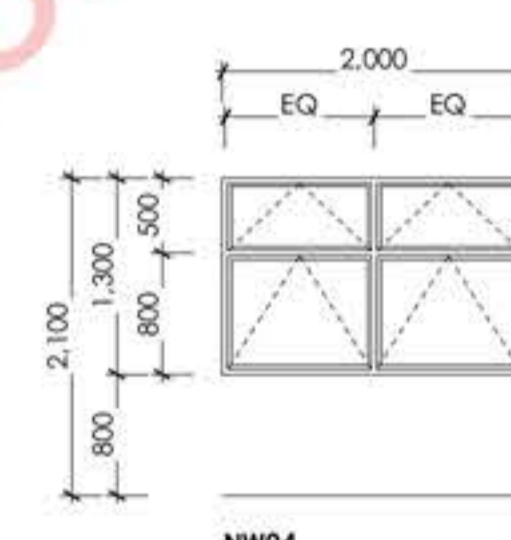
NW01
Exterior aluminium joinery
Restrictor stays to lower awnings only



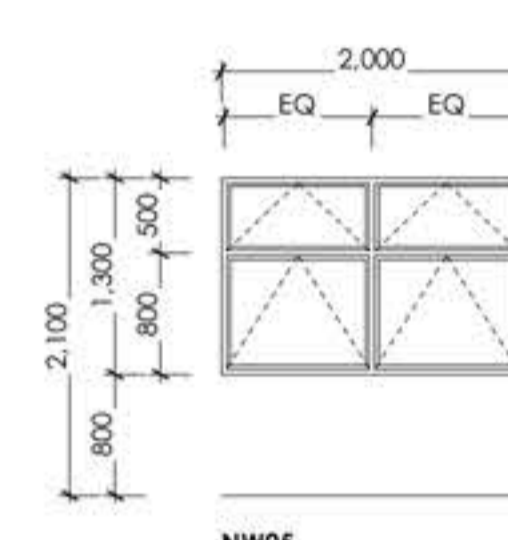
NW02
Exterior aluminium joinery
Restrictor stays to lower awnings only



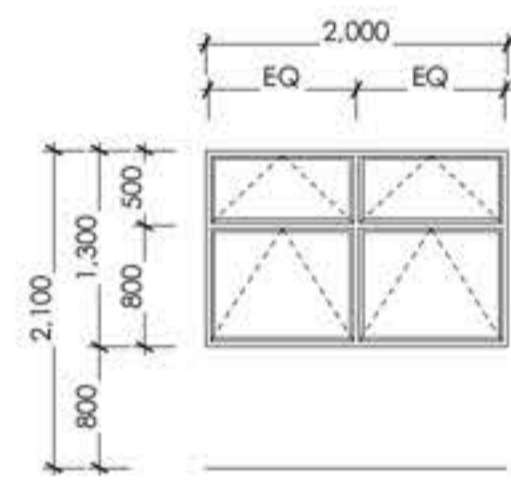
NW03
Exterior aluminium joinery
Restrictor stays to lower awnings only



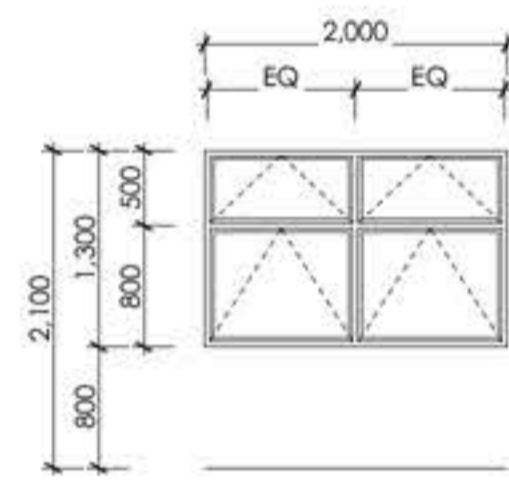
NW04
Exterior aluminium joinery
Restrictor stays to lower awnings only



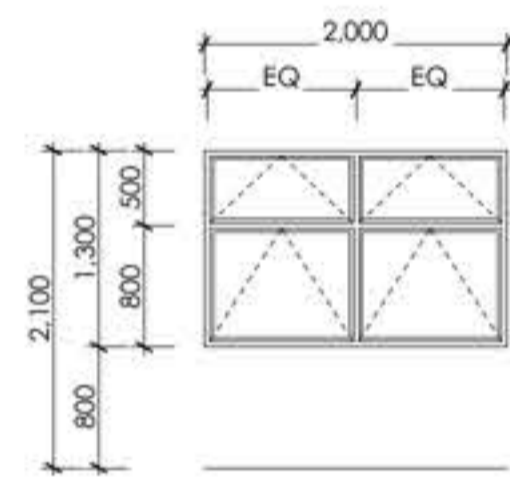
NW05
Exterior aluminium joinery
Restrictor stays to lower awnings only



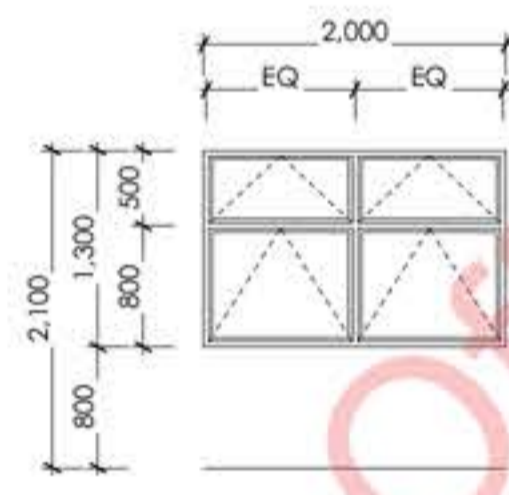
NW06
Exterior aluminium joinery
Restrictor stays to all awnings



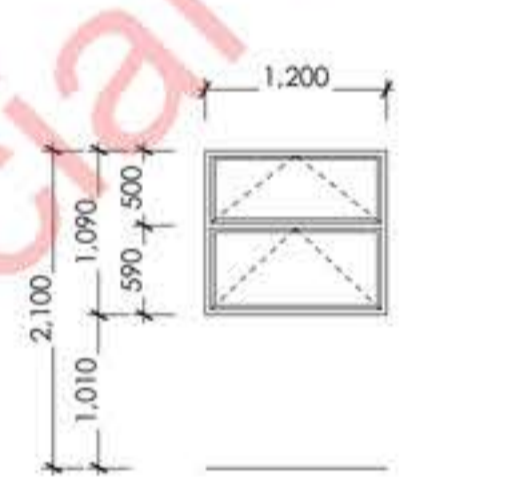
NW07
Exterior aluminium joinery
Restrictor stays to all awnings



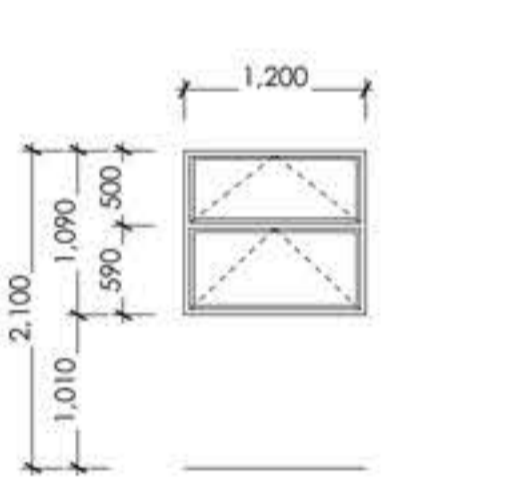
NW08
Exterior aluminium joinery
Restrictor stays to lower awnings only



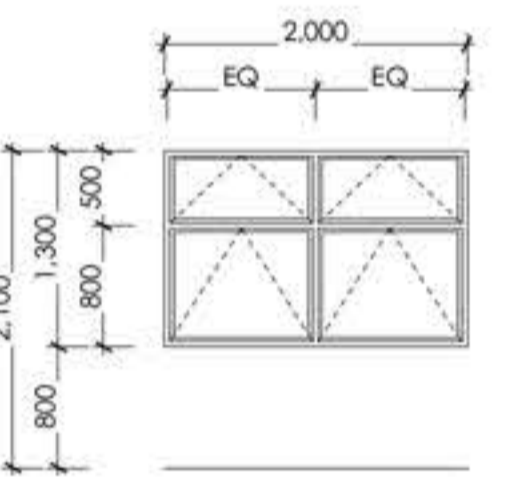
NW09
Exterior aluminium joinery
Restrictor stays to all awnings



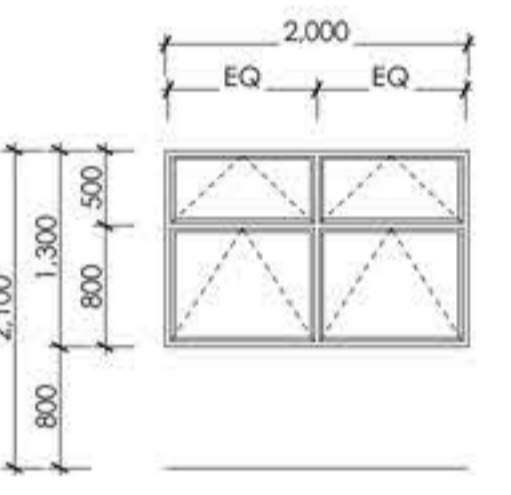
NW10
Exterior aluminium joinery
Restrictor stays to all awnings



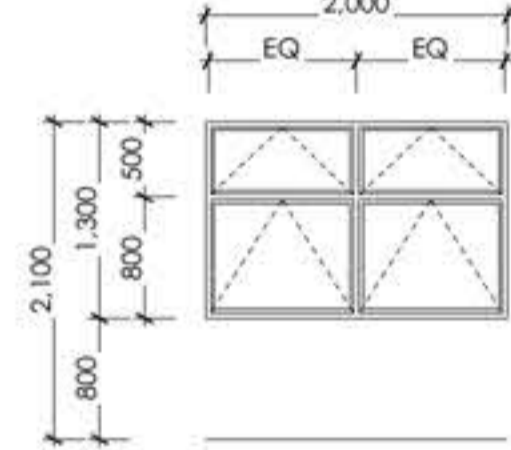
NW11
Exterior aluminium joinery
Restrictor stays to all awnings



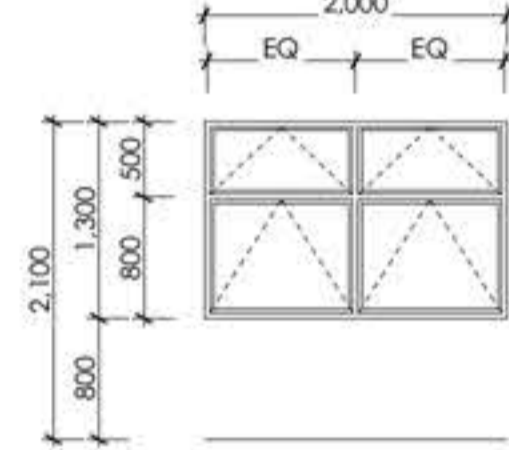
NW12
Exterior aluminium joinery
Restrictor stays to lower awnings only



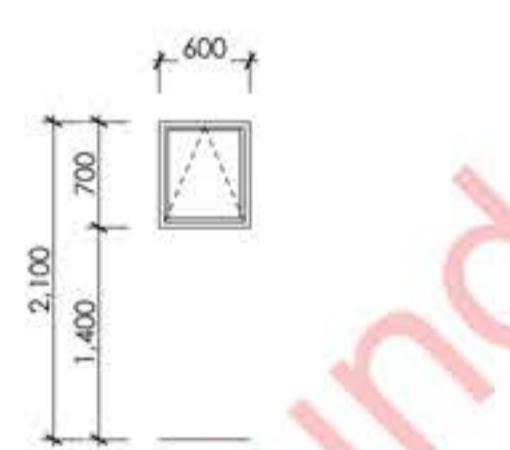
NW13
Exterior aluminium joinery
Restrictor stays to lower awnings only



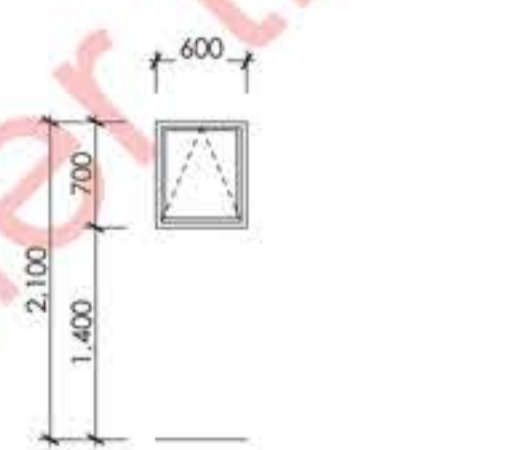
NW14
Exterior aluminium joinery
Restrictor stays to lower awnings only



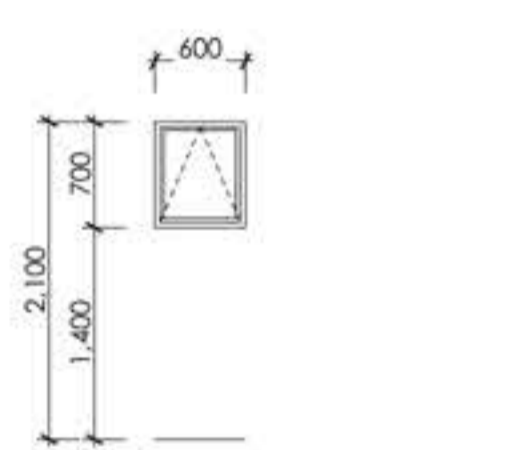
NW15
Exterior aluminium joinery
Restrictor stays to lower awnings only



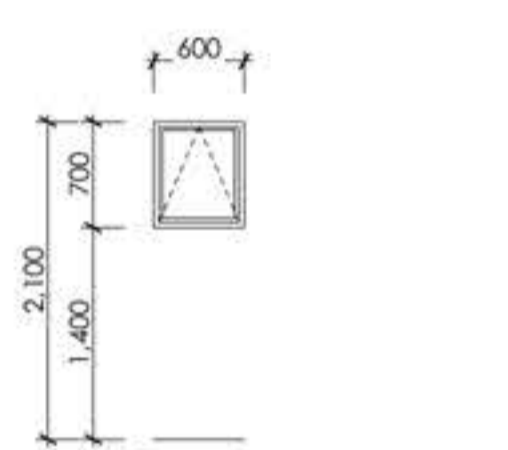
NW16
Exterior aluminium joinery
Opalescent privacy glass



NW17
Exterior aluminium joinery
Opalescent privacy glass



NW18
Exterior aluminium joinery
Opalescent privacy glass



NW19
Exterior aluminium joinery
Opalescent privacy glass

Window & Door Schedule Notes

Exterior Aluminium Joinery
All doors and windows are viewed from the outside, and to comply with NZS4211.

Joinery to be thermally broken, powder coated aluminium compliant with H1/AS2 to achieve an R value of 0.37.

Safety glass to NZS4223:2016 part 3 as required - ie. generally to all.

Jamb liners to be H3 pine with paint quality finish, rebated.

Dimensions shown are estimated actual sizes. All dimensions to be confirmed on site prior to manufacture, particularly where windows being fit to suit existing opening width & head.

Pull handles or push plates are acceptable only where doors are not latched.

As per MoE DQLS indoor air quality and thermal comfort requirements, all opening windows must have restrictors, except those at high level (>1.5m to sash, or >2.0m at walkways). Ensure restrictors comply with NZBC F4/AS1 2.0.

Air seats around wall windows and doors to be a wet sealant - 'Sika at facade' as per MoE reqs.

Design for Access and Mobility

Door handles and related hardware to comply with NZS4121:
- handles shall be between 900mm & 1200mm (1m optimum) above FL.
- handles operating locks and latches have a lever action and the end of the handle shall be returned towards the door.
- the door opening pressure shall be the minimum required to suit specific use and conditions:
Exterior hinged door = 38N
Interior hinged door = 22N
Sliding / folding door = 22

All doors an egress routes to have a maximum threshold height of 20mm to both the interior and exterior finished floor levels.

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Window & Door Schedule Notes

Interior Door Joinery
All doors and windows are viewed from the outside, and to comply with NZS4211.

Units IPD1 to IPD6 formed with aluminium partition frame. IPD8 aluminium internal slider.

Relocated doors RF01, RD02 and RD03 to be made good for reuse.

Safety glass to NZS4223:2016 part 3 as required - ie. generally to all.

Jamb liners to be H1.2 pine with paint quality finish, rebated.

Dimensions shown are estimated actual sizes. All dimensions to be confirmed on site prior to manufacture, particularly where windows being fit to suit existing opening width & head.

Pull handles or push plates are acceptable only where doors are not latched.

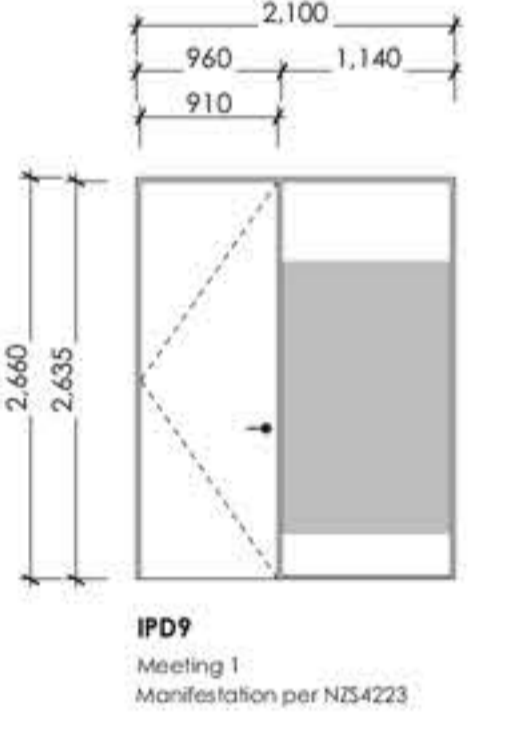
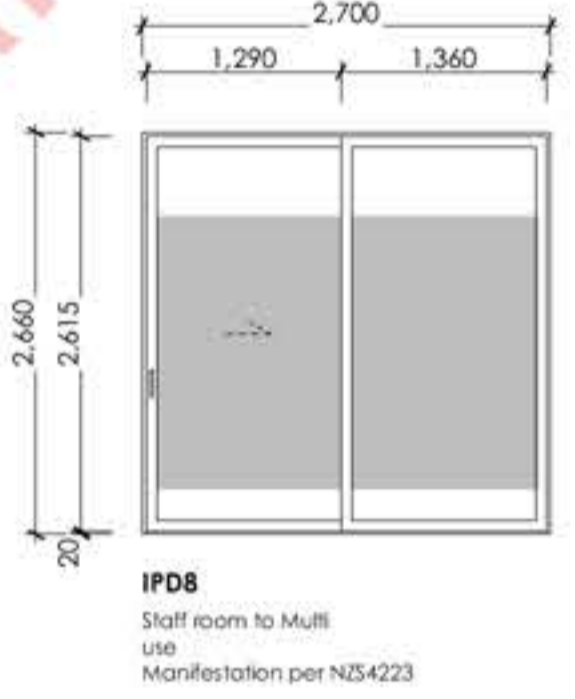
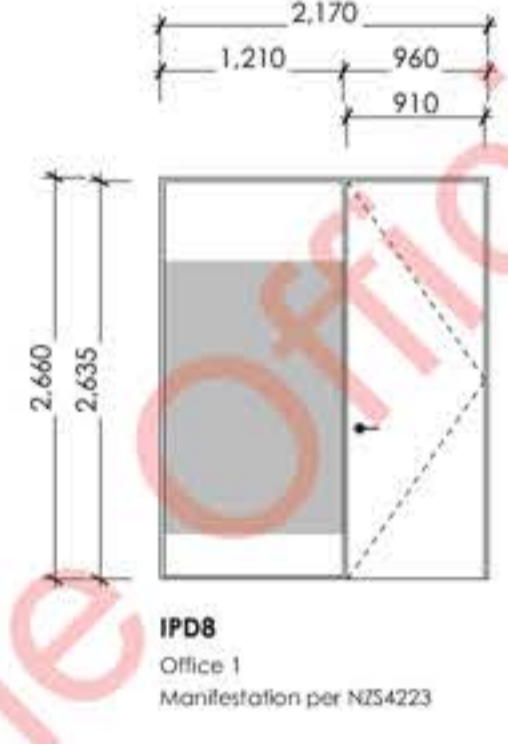
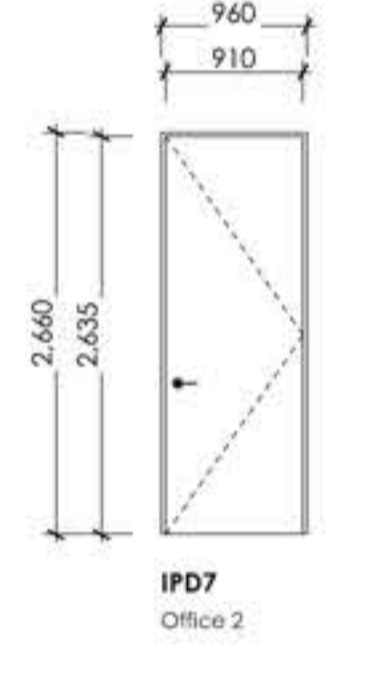
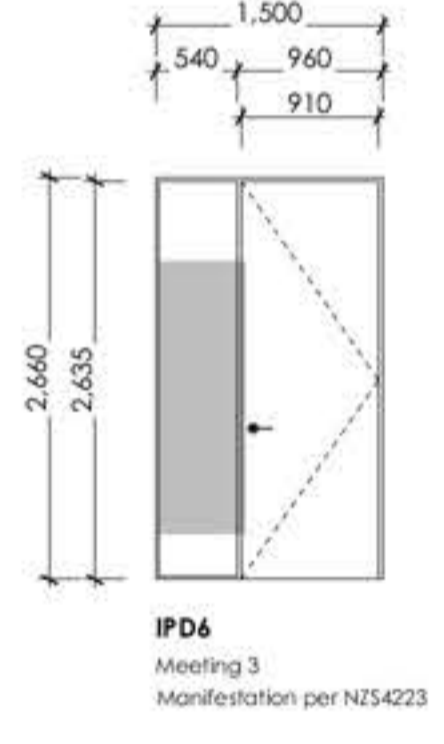
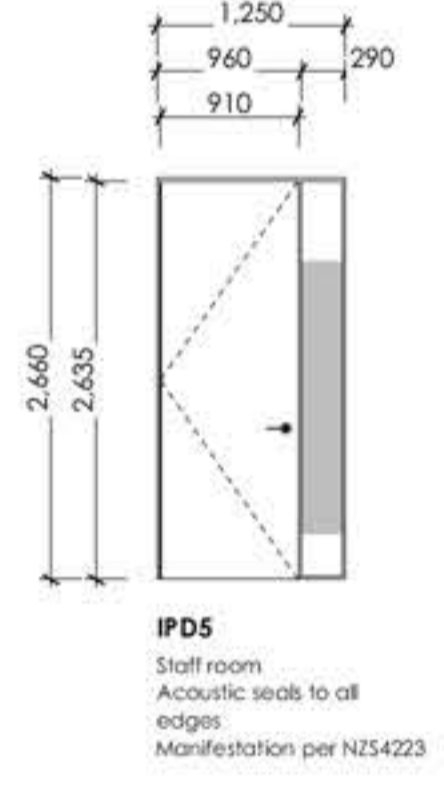
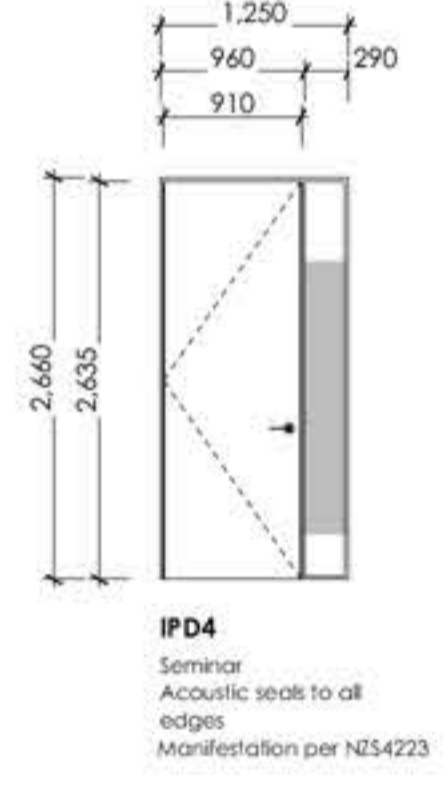
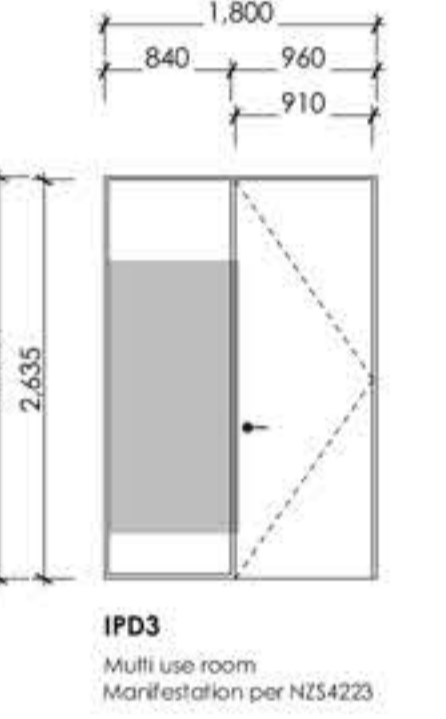
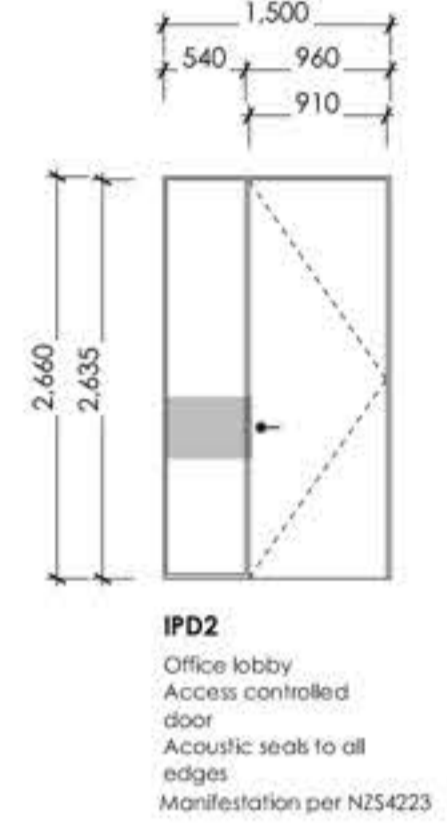
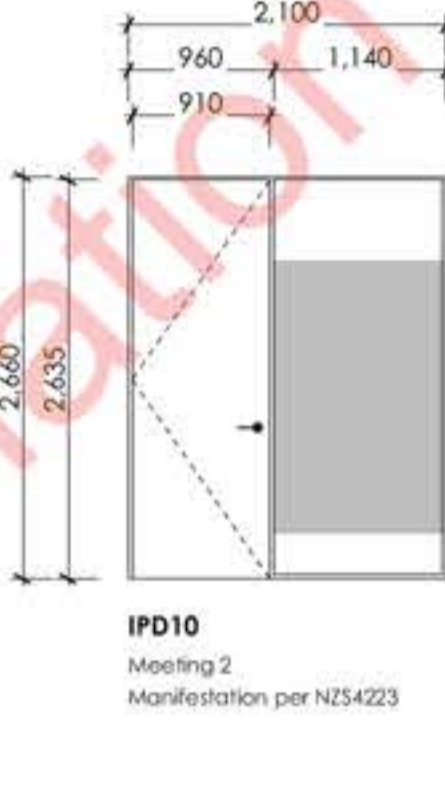
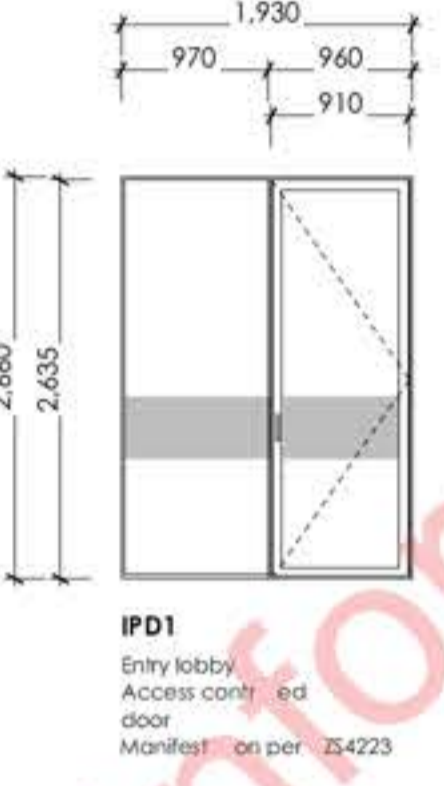
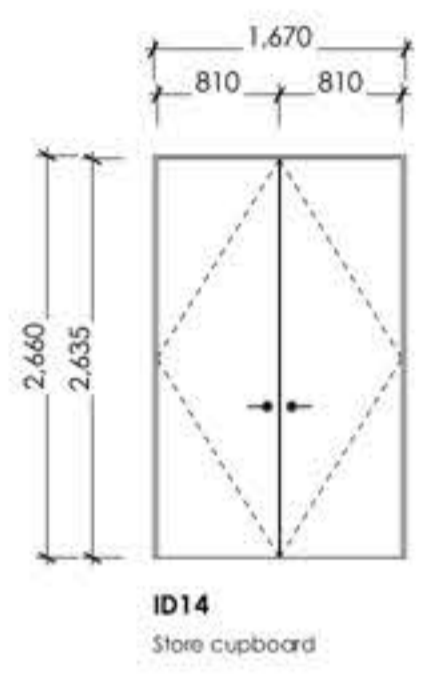
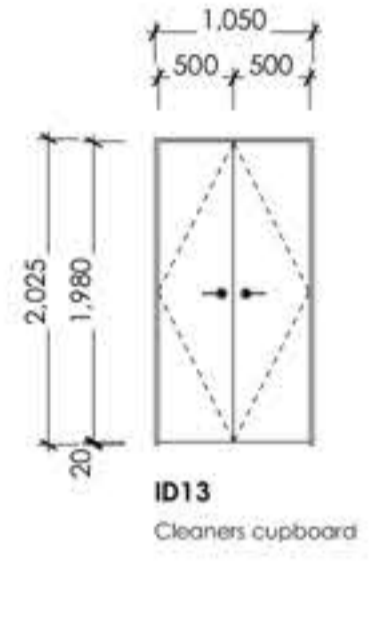
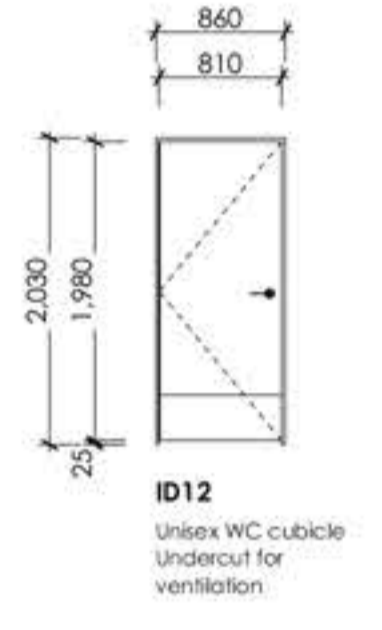
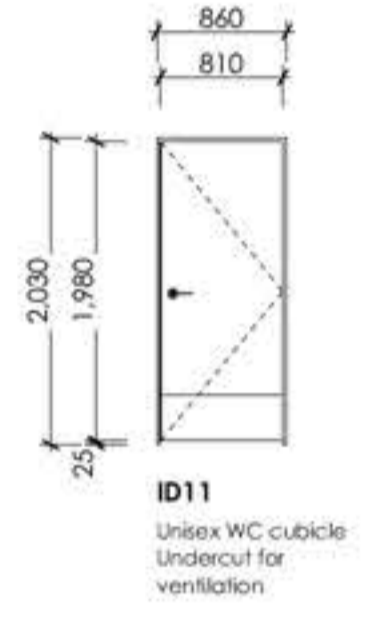
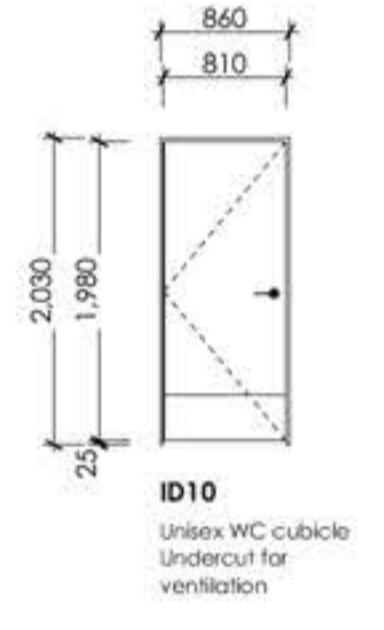
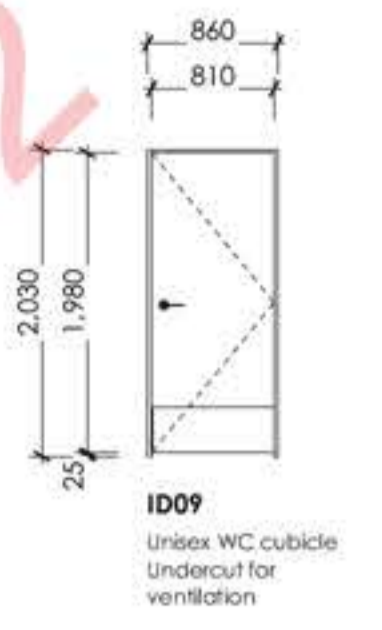
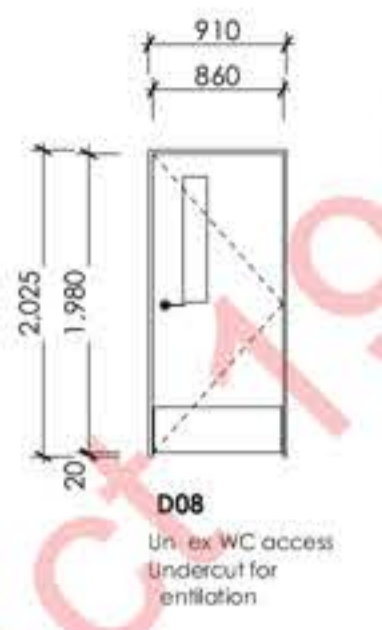
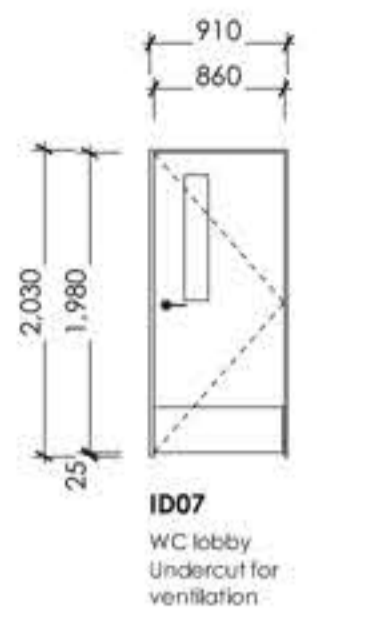
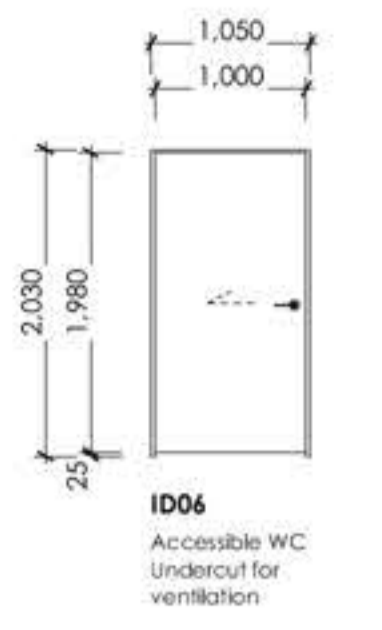
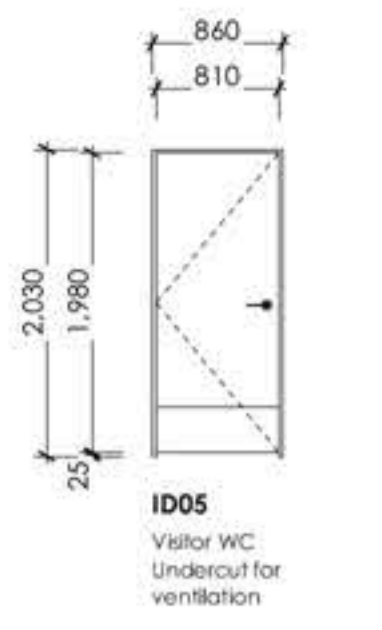
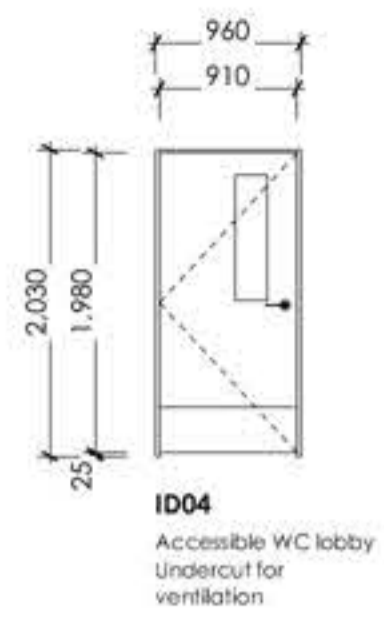
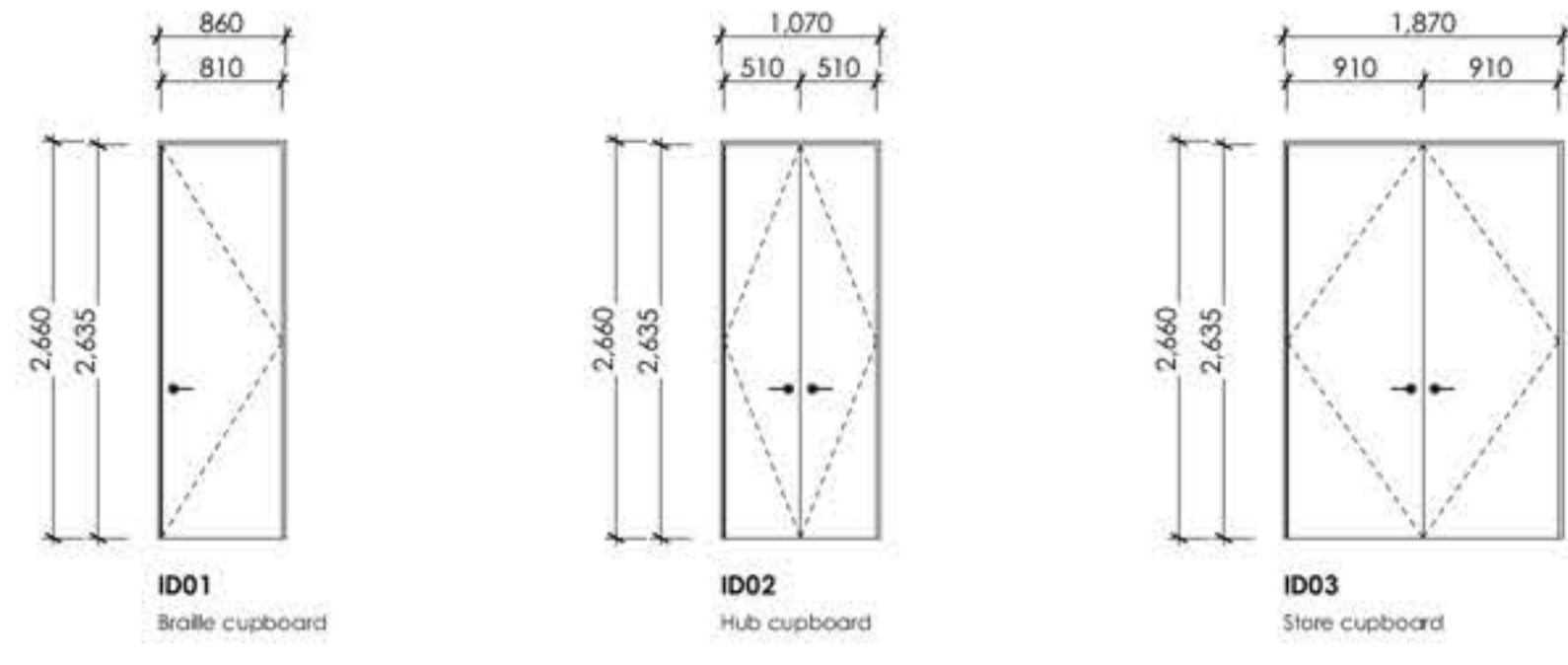
Acoustic seals to all door edges to units IPD2, IPD4 and IPD5.

Design for Access and Mobility

- Door handles and related hardware to comply with NZS4121:
- handles shall be between 900mm & 1200mm (1m optimum) above FL.
- handles operating locks and latches have a lever action and the end of the handle shall be returned towards the door.
- the door opening pressure shall be the minimum required to suit specific use and conditions:
- Exterior hinged door = 38N
- Interior hinged door = 22N
- Sliding / folding door = 22N

All doors an egress routes to have a maximum threshold height of 20mm to both the interior and exterior finished floor levels.

Manifestation to full height glazing panels as per NZS4223, design to be confirmed with tenant and interior designer prior to order



Interior Doors Schedule
Scale 1:50

Released under the Official Information Act 1982

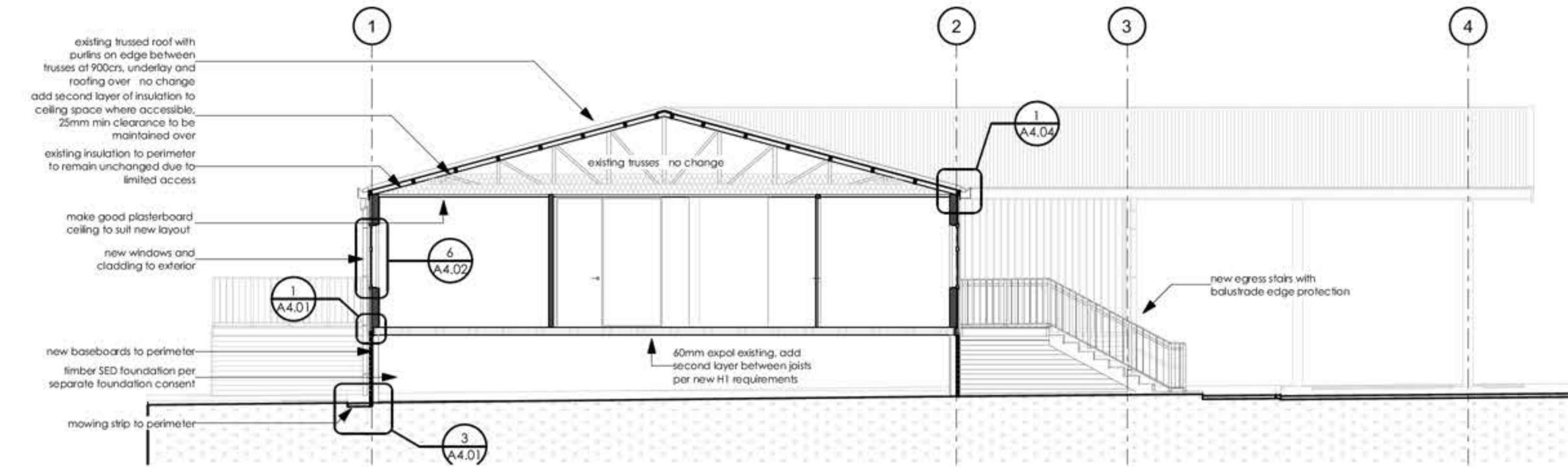
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5A	14/08/2023	Landing Levels
4D	7/03/2023	BC RFI Response
4B	14/02/2023	BC Application Rev
4A	10/02/2023	BC Application
3E	8/02/2023	Progress Set
3C	24/01/2023	Progress for Consultants
ID	Date	Transmittal Set Name

9(2)(b)(ii)

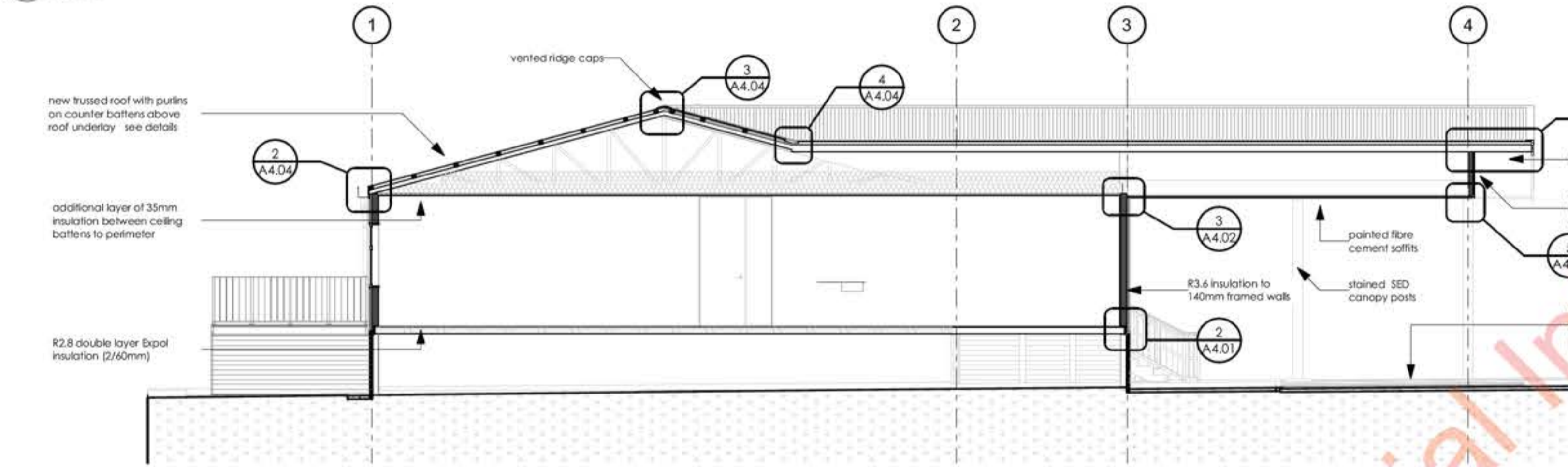
Salisbury Education Support Building
for Ministry of Education

Interior Doors Schedule
at 67 Salisbury Road, Richmond
issued 18/08/2023
scale @A1 1:50
project ID #22-32
drawing **A2.08.5B**

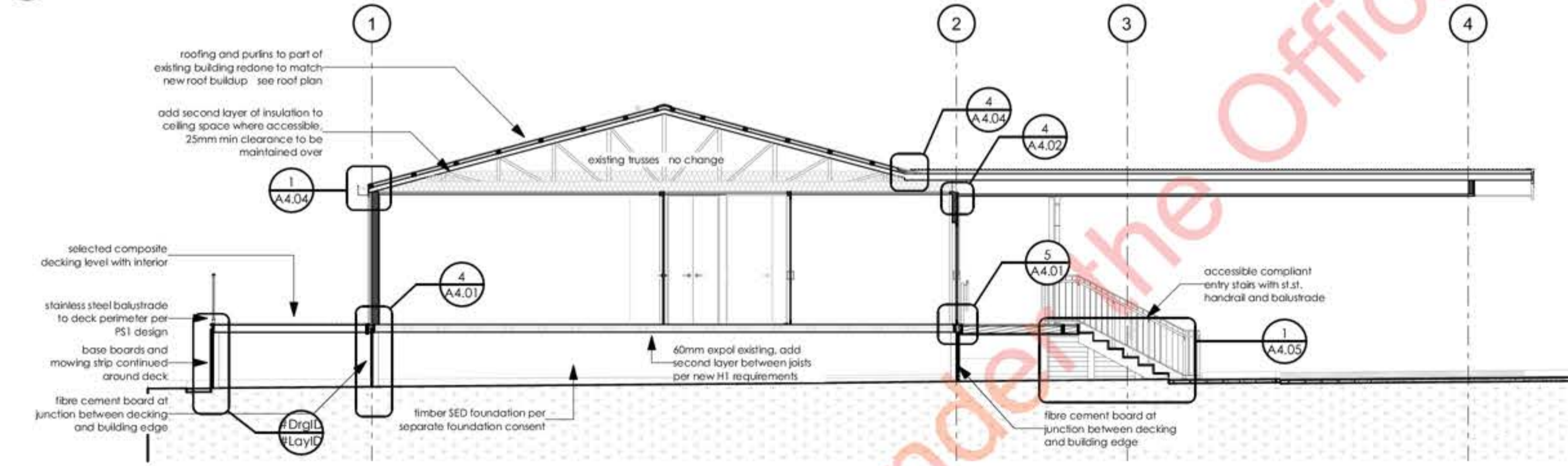
do not scale from drawings, confirm all dimensions on site, confirm any discrepancies with the architect prior to construction.



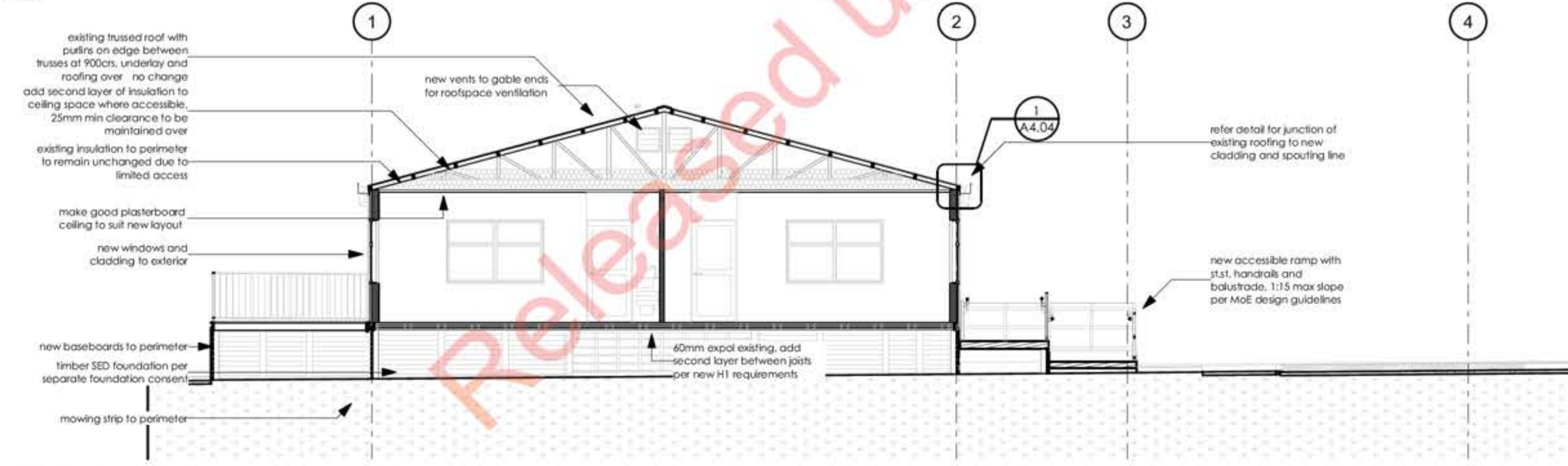
A Section AA
Scale 1:75



B Section BB
Scale 1:75



C Section CC
Scale 1:75



D Section DD
Scale 1:75

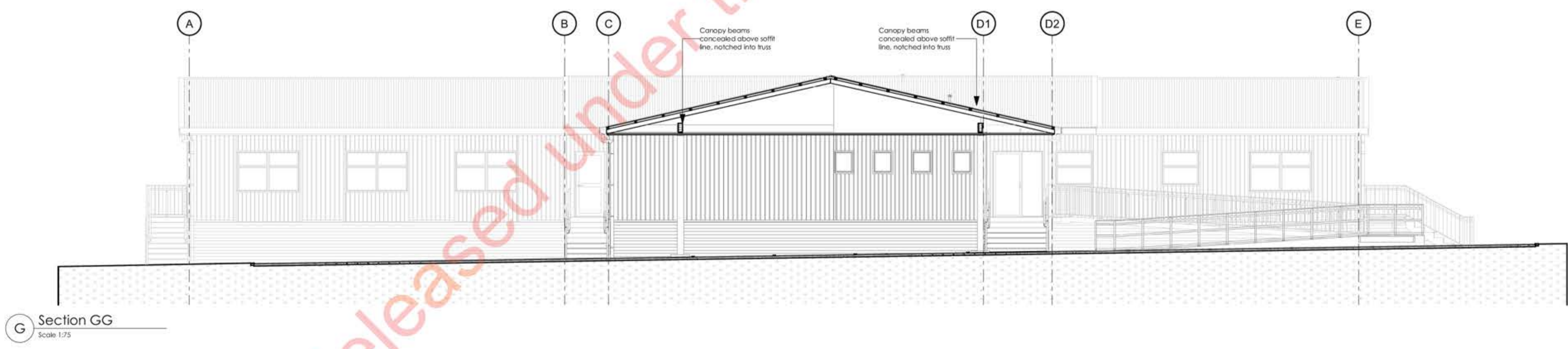
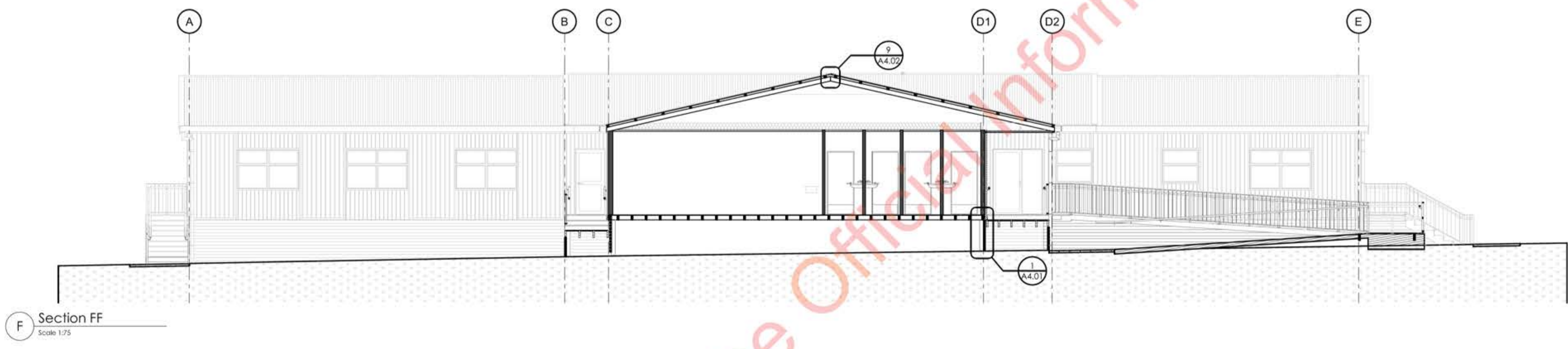
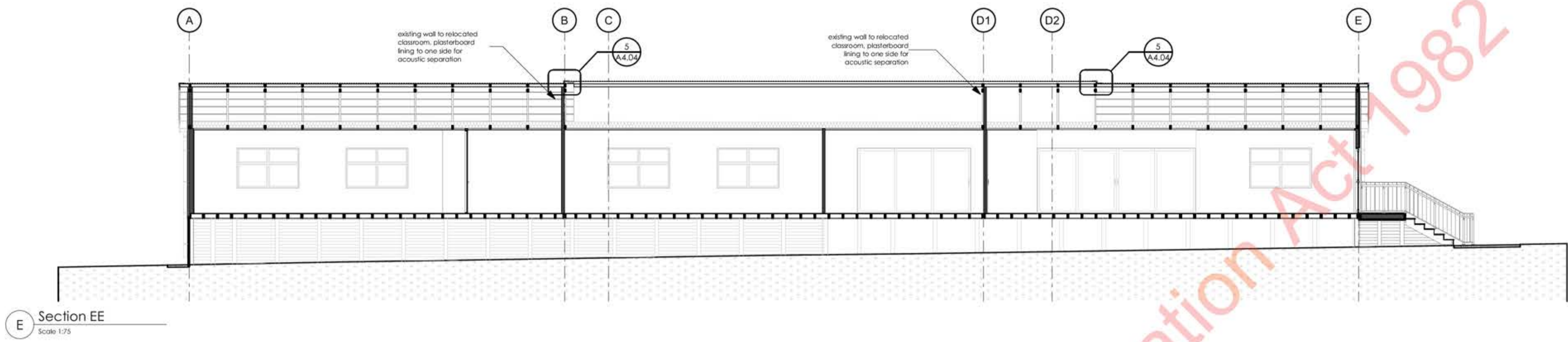
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5A	14/08/2023	Landing Levels
48	14/02/2023	BC Application Rev
4A	10/02/2023	BC Application
3E	8/02/2023	Progress Set
3D	2/02/2023	Eave Detail Review
3C	24/01/2023	Progress for Consultants
ID	Date	Transmittal Set Name

B(2)(b)(ii)

Salisbury Education Support Building
for Ministry of Education

Sections
at 67 Salisbury Road, Richmond
issued 18/08/2023
scale @A1 1:75
project ID #22-32
drawing **A3.01.5B**

do not scale from drawings, confirm all dimensions on site, confirm any discrepancies with the architect prior to construction.



58	18/08/2023	For Construction Issue
5A	14/08/2023	Landing Levels
48	14/02/2023	BC Application Rev
4A	10/02/2023	BC Application
3E	8/02/2023	Progress Set
3D	2/02/2023	Eave Detail Review
3C	24/01/2023	Progress for Consultants
ID	Date	Transmittal Set Name

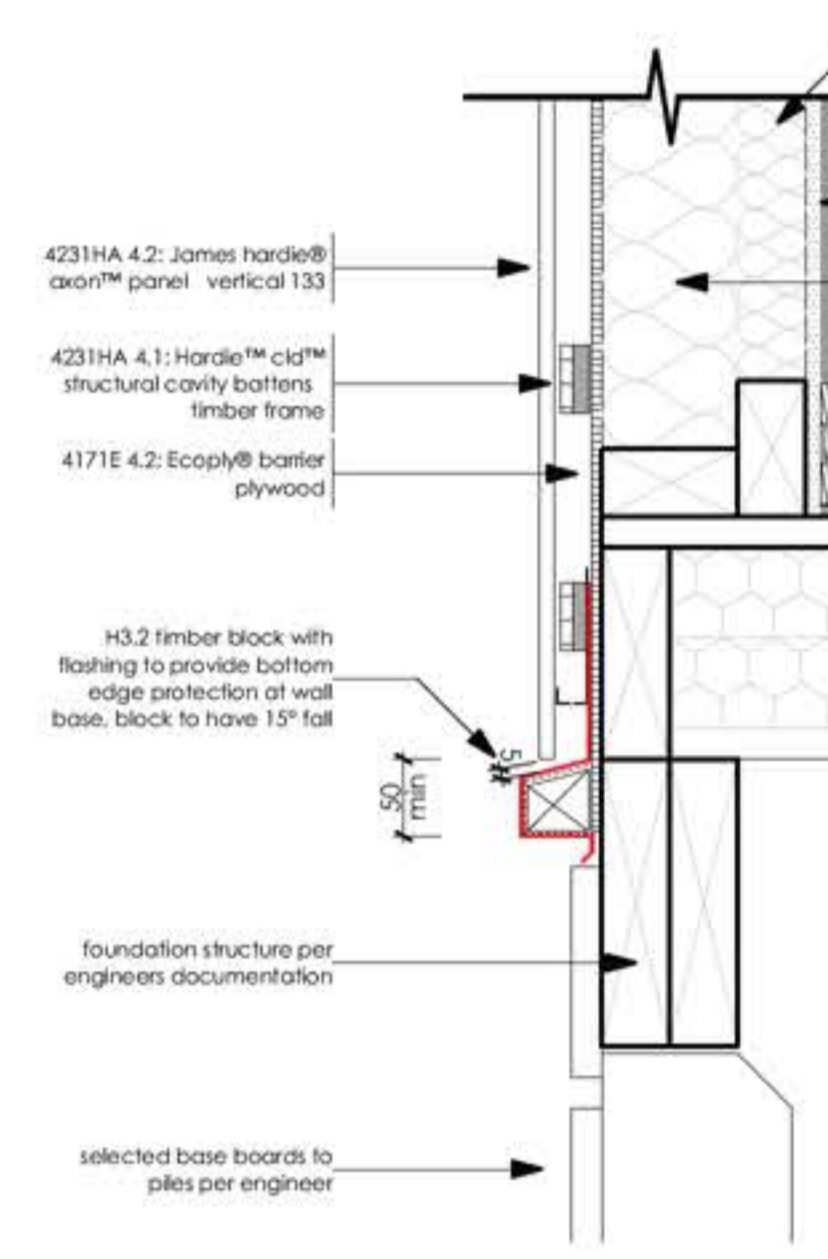
9(2)(b)(ii)

Salisbury Education Support Building
for Ministry of Education

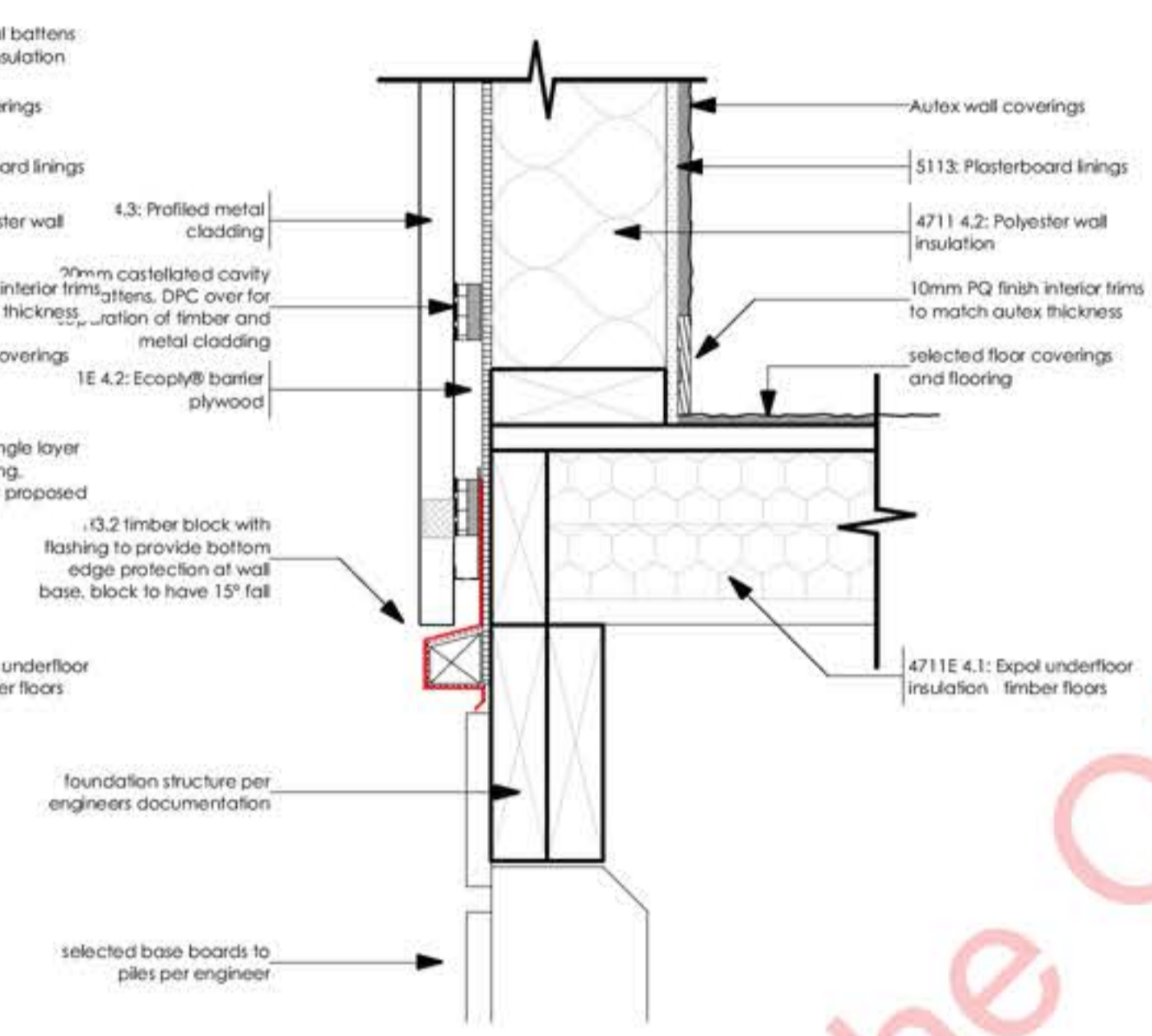
Sections
at 67 Salisbury Road, Richmond
issued 18/08/2023
scale @A1 1:75
project ID #22-32
drawing **A3.02.5B**

do not scale from drawings, confirm all dimensions on site, confirm any discrepancies with the architect prior to construction.

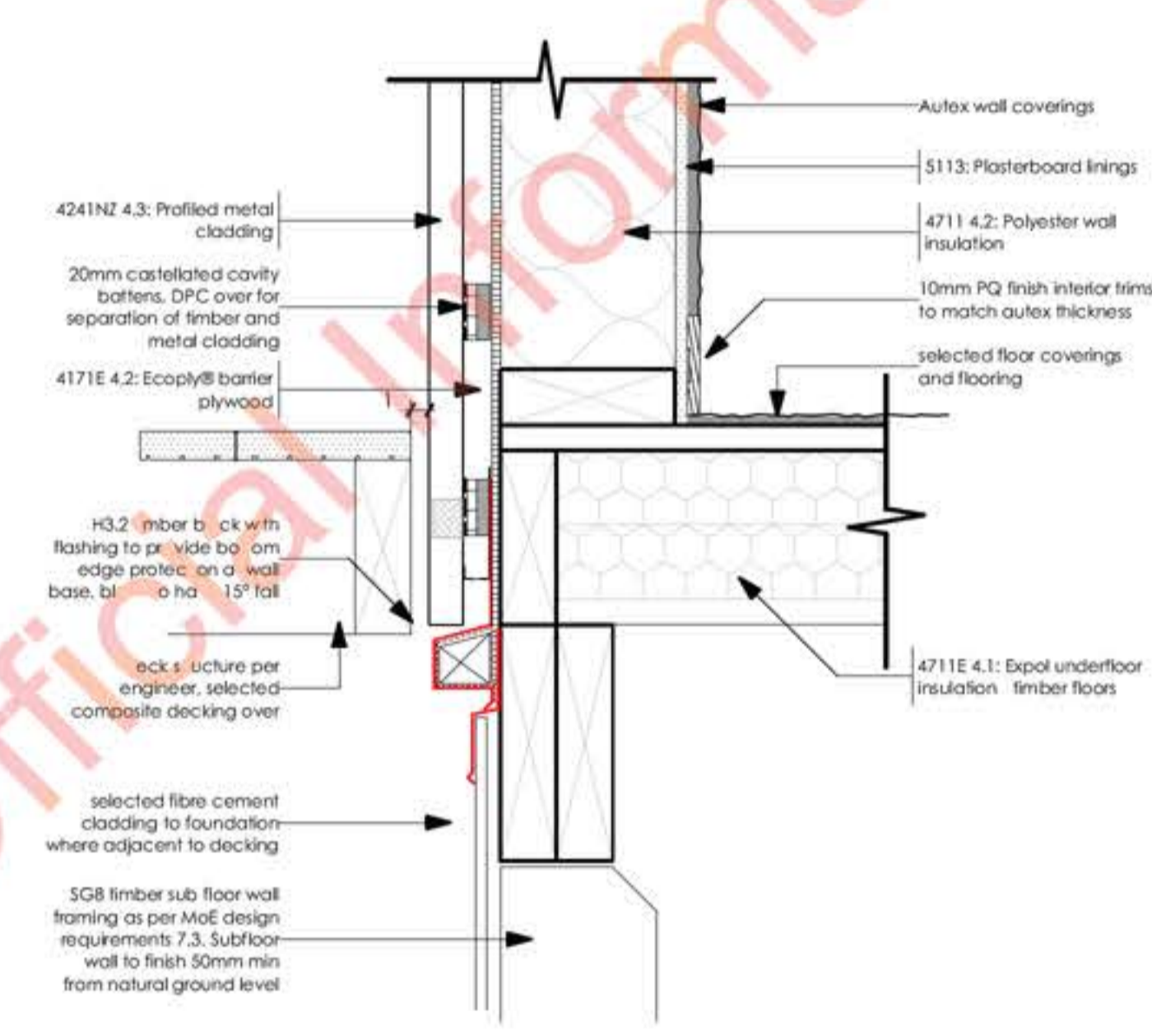
Released under the Official Information Act 1982



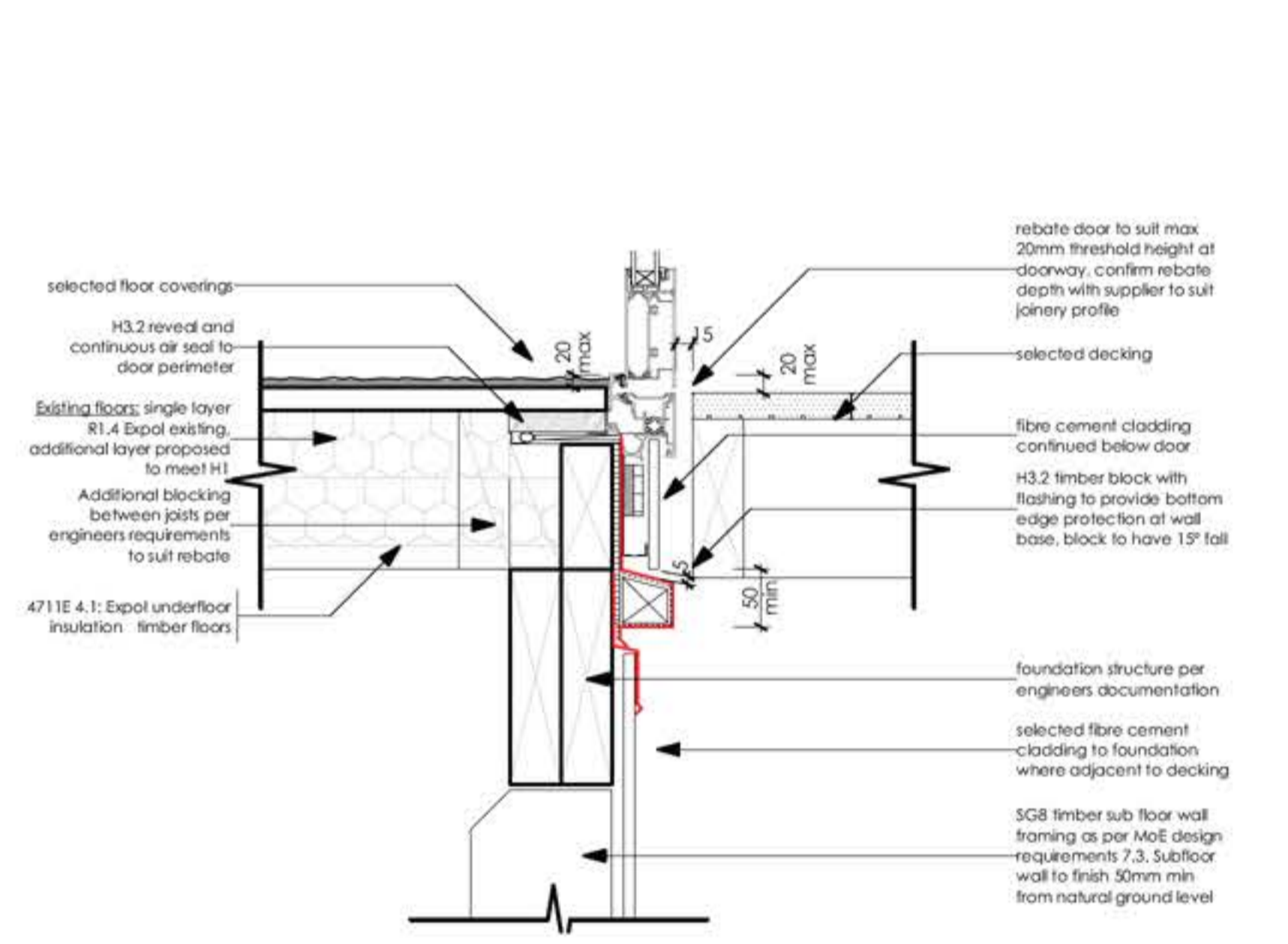
1 Base of Wall - Axon Panel
Scale 1:5



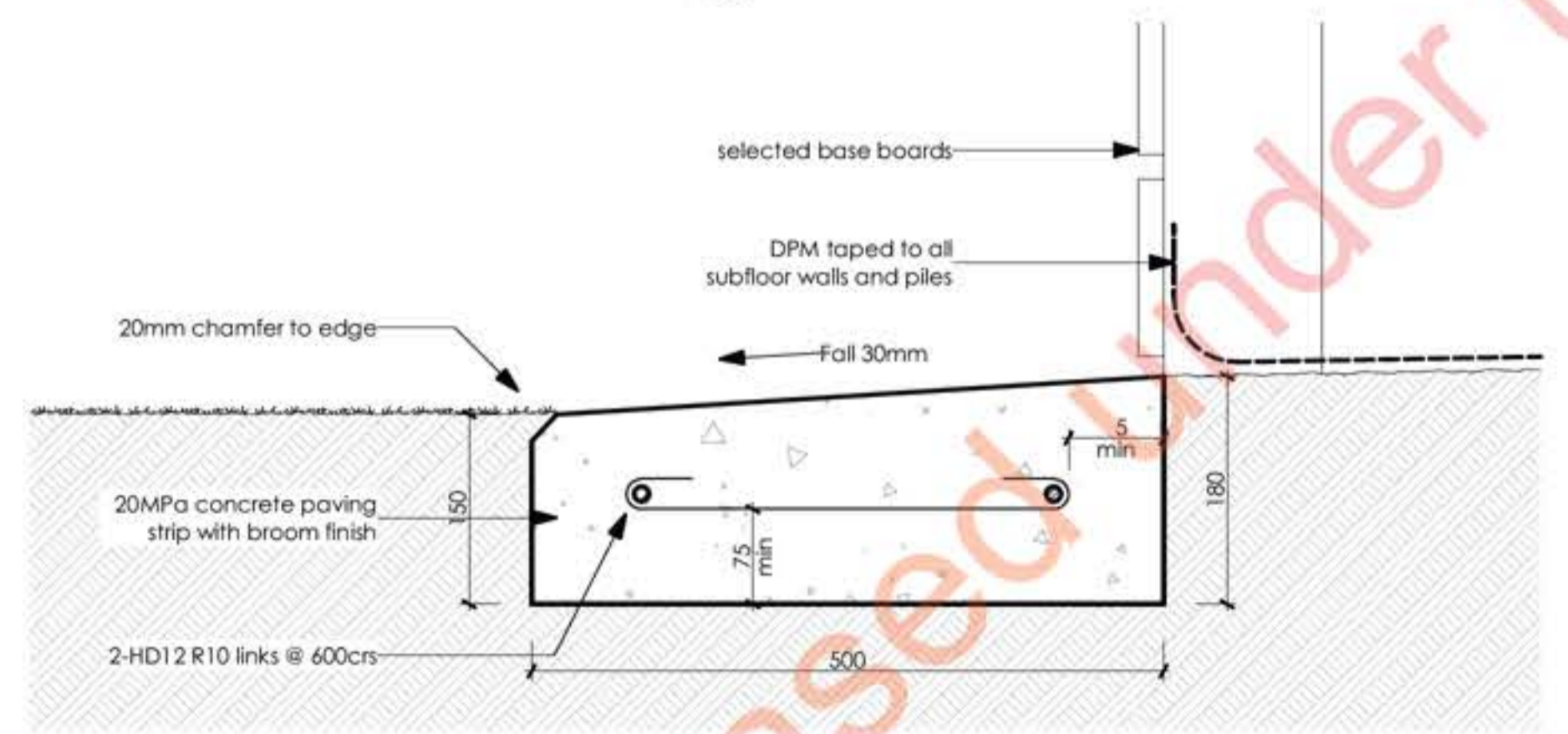
2 Base of Wall - Five-Rib
Scale 1:5



4 Base of Wall - Typical to Decking
Scale 1:5



5 Threshold Detail - Hinged
Scale 1:5



3 Foundation Detail - Mowing Strip
Scale 1:5

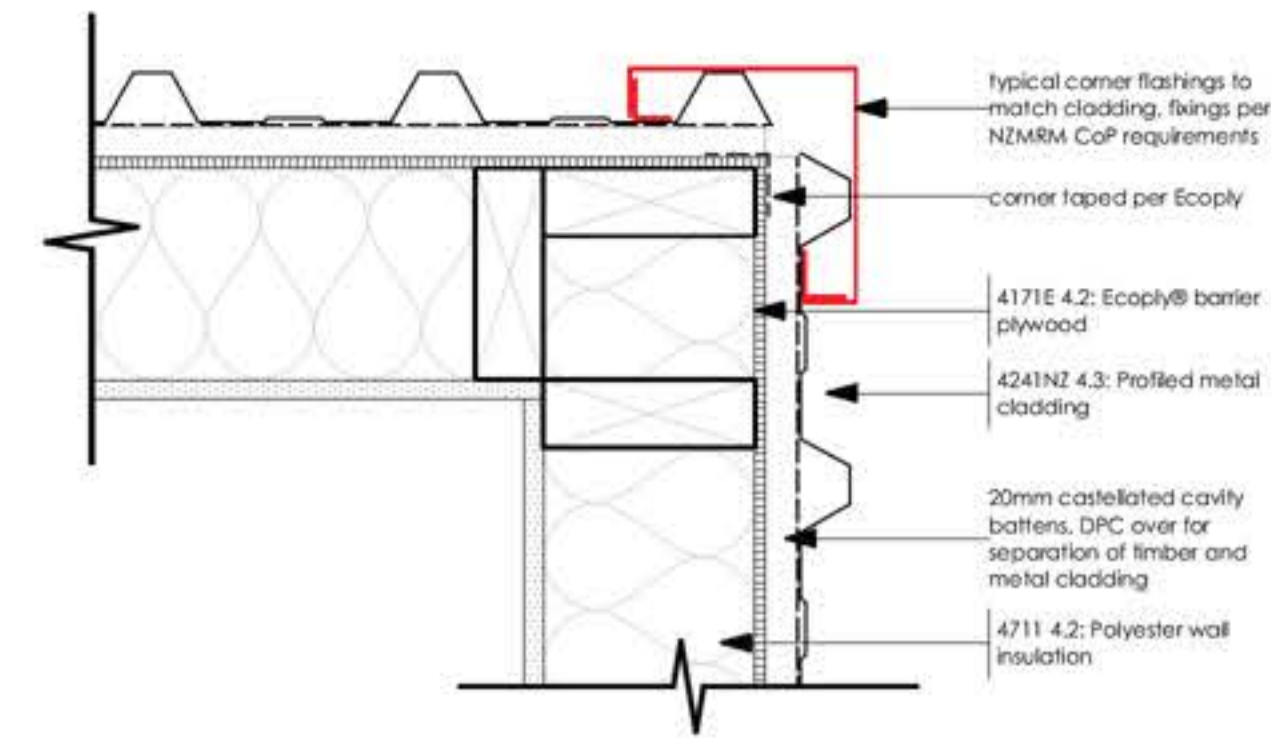
58	18/08/2023	For Construction Issue
48	14/02/2023	BC Application Rev
4A	10/02/2023	BC Application
3E	8/02/2023	Progress Set
3D	2/02/2023	Eave Detail Review
ID	Date	Transmittal Set Name

9(2)(b)(ii)

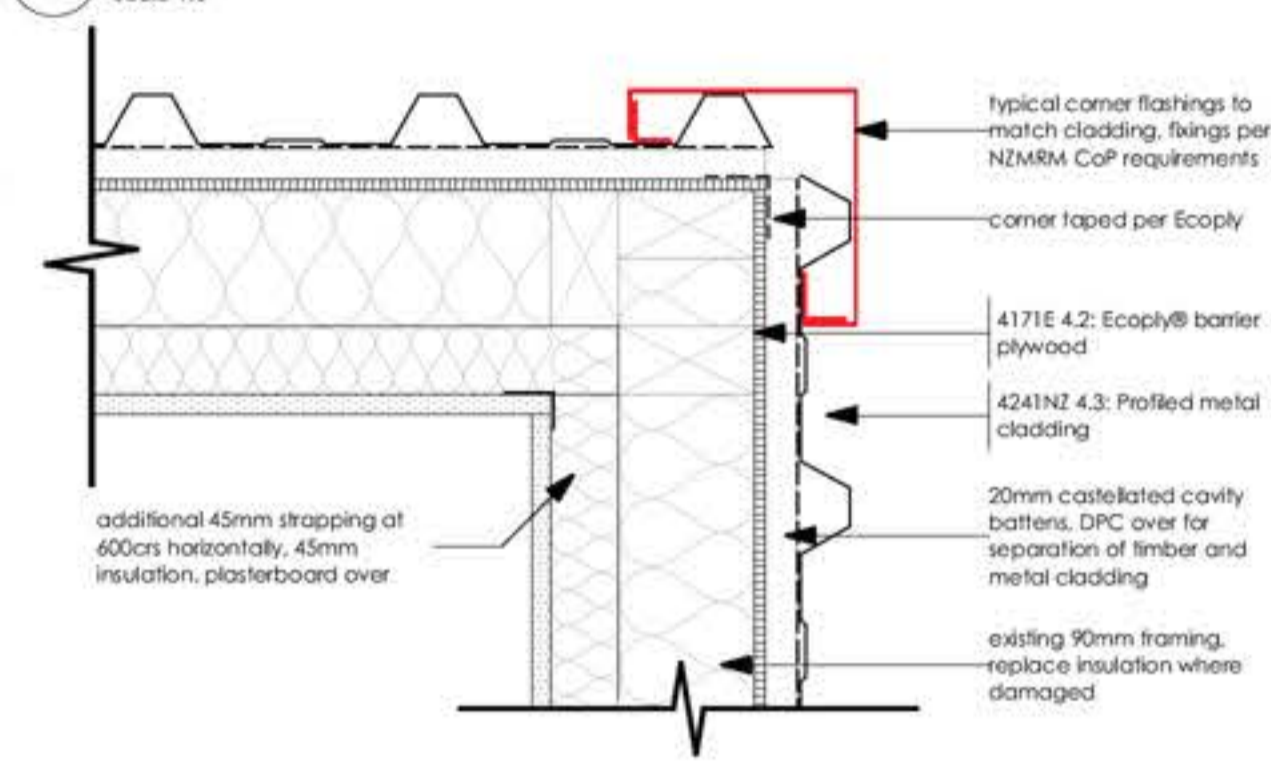
Salisbury Education
Support Building
for Ministry of Education

Base of Wall Details
at 67 Salisbury Road, Richmond
issued 18/08/2023
scale @A1 1:5
project ID #22-32
drawing A4.01.5B

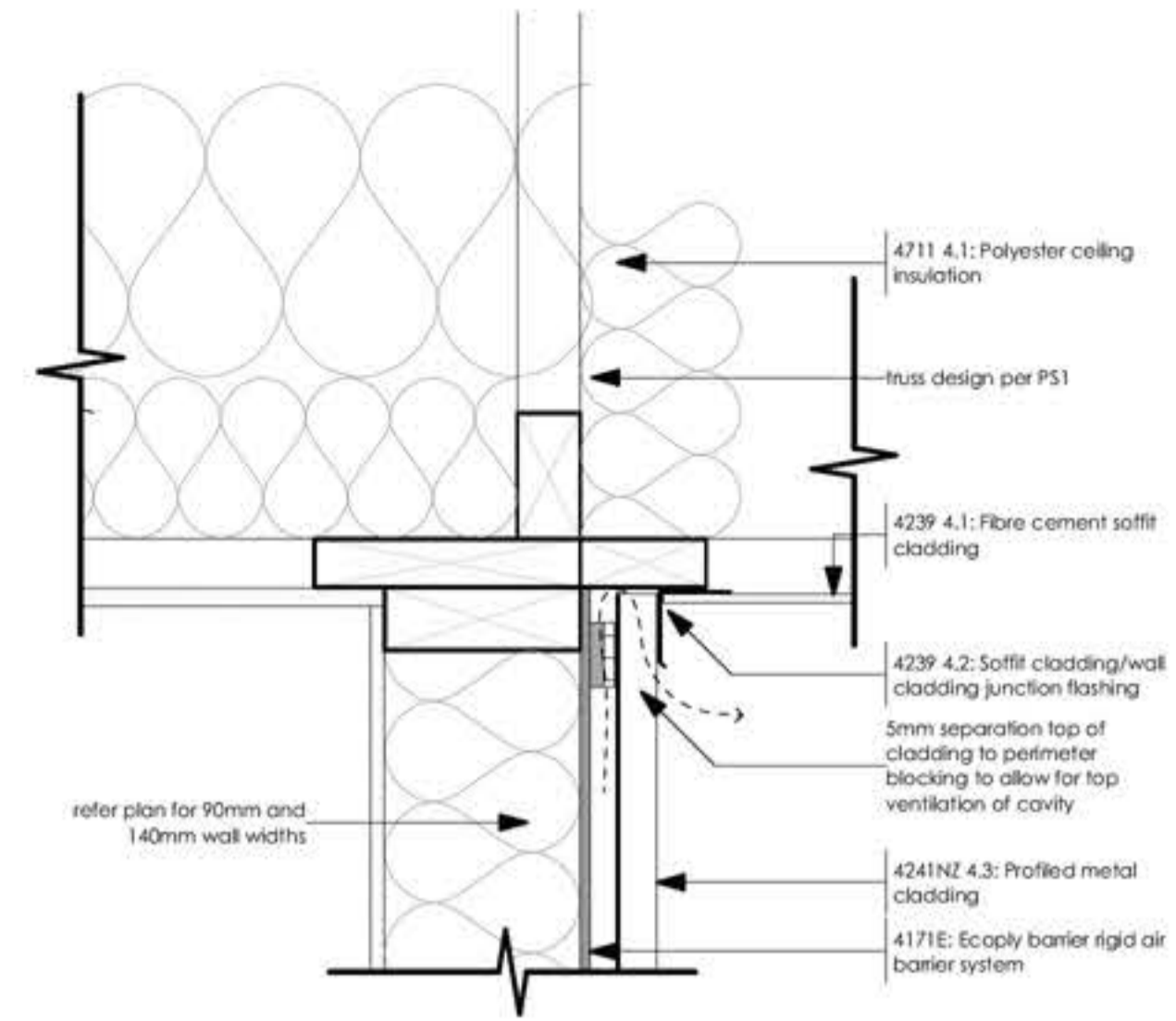
do not scale from drawings, confirm all dimensions on site, confirm any discrepancies with the architect prior to construction.



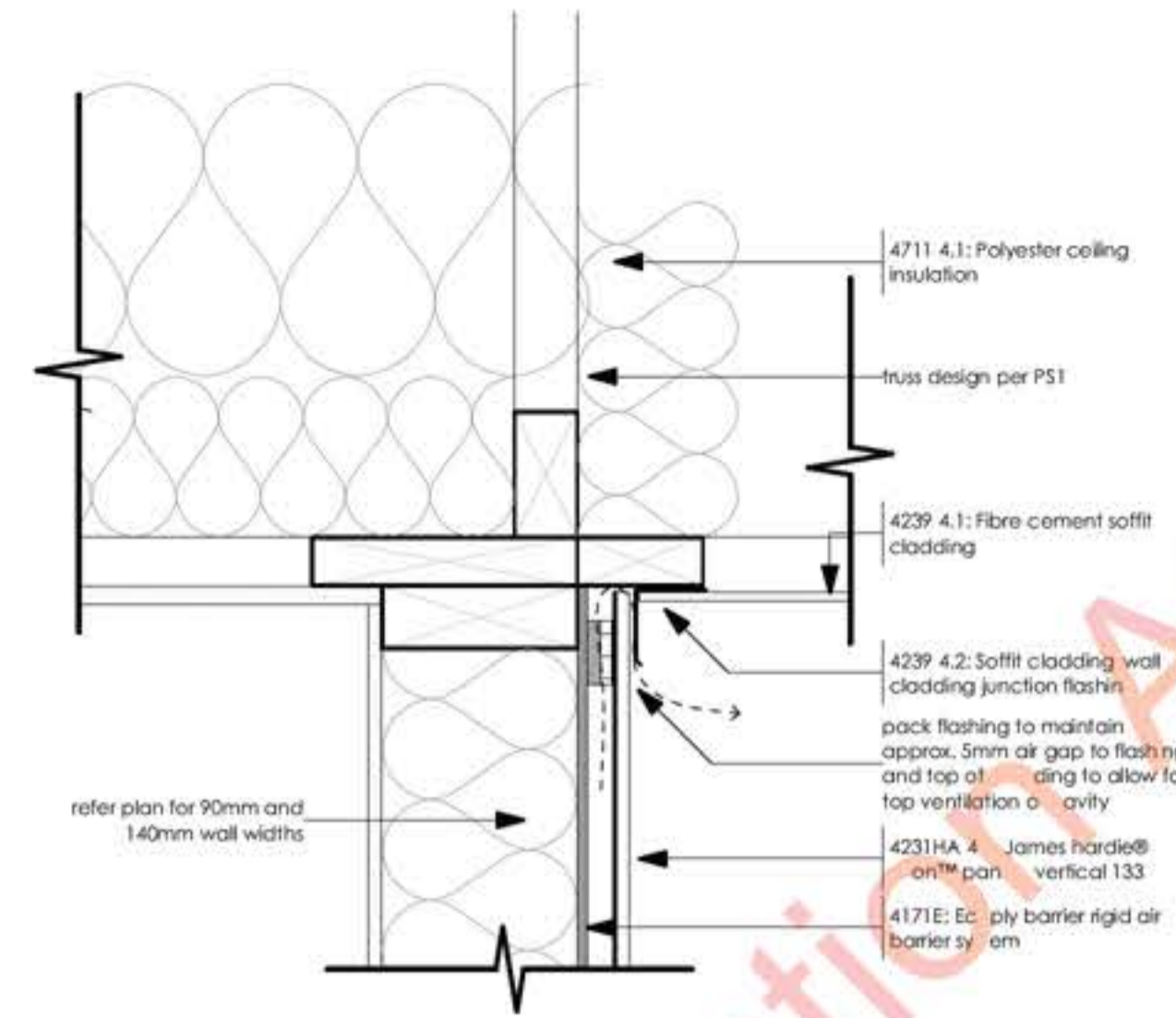
1 Cladding Detail - Typical External Corner
Scale 1:5



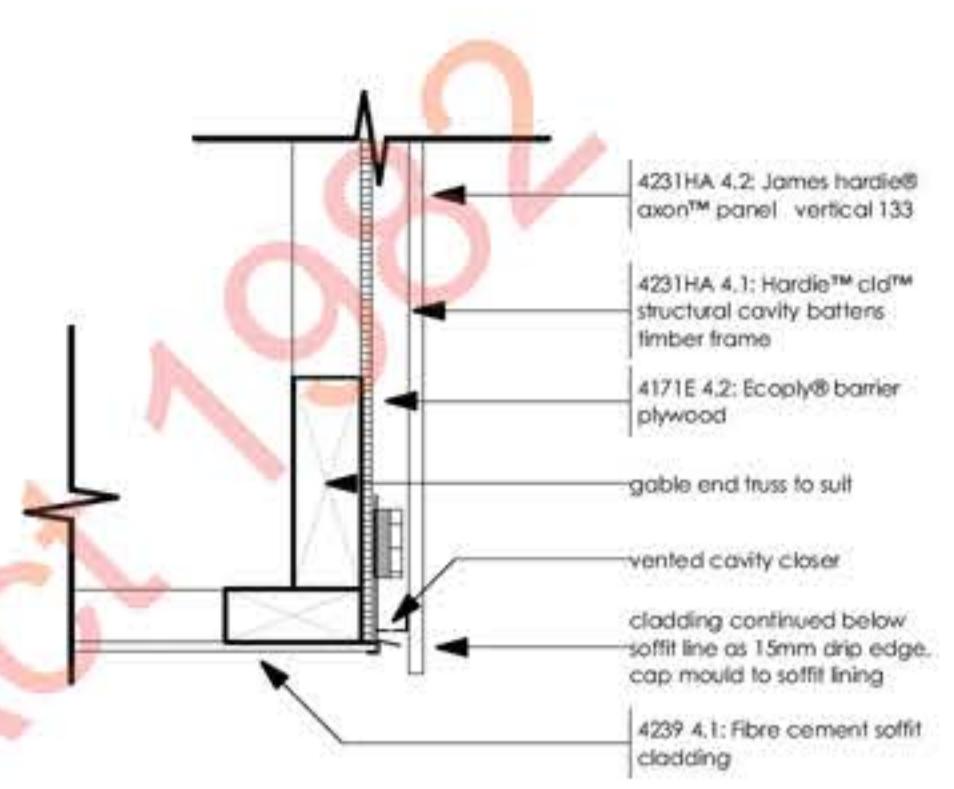
2 Cladding Detail - Typical External to Existing
Scale 1:5



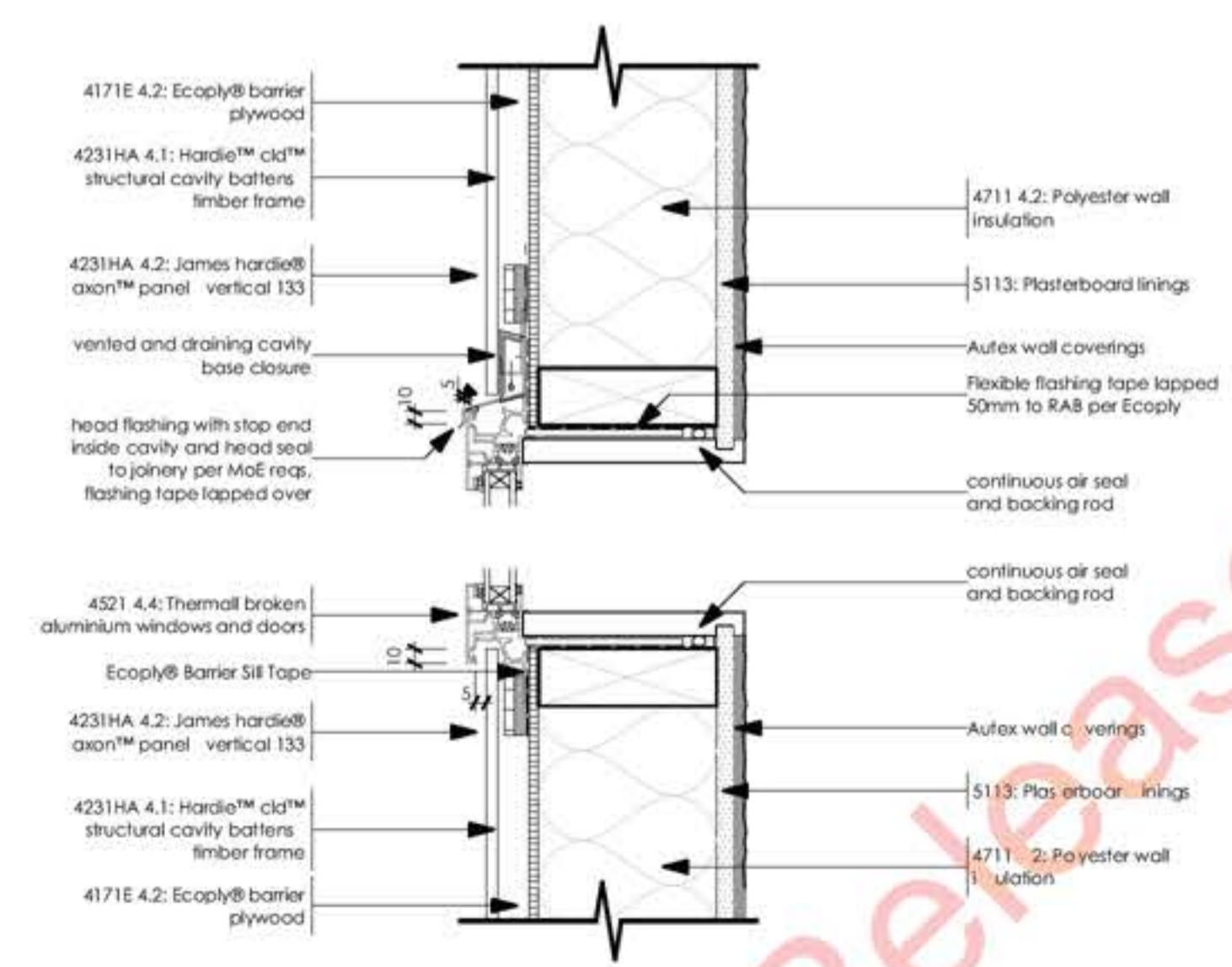
3 Top of Wall - Five-Rib to Soffit
Scale 1:5



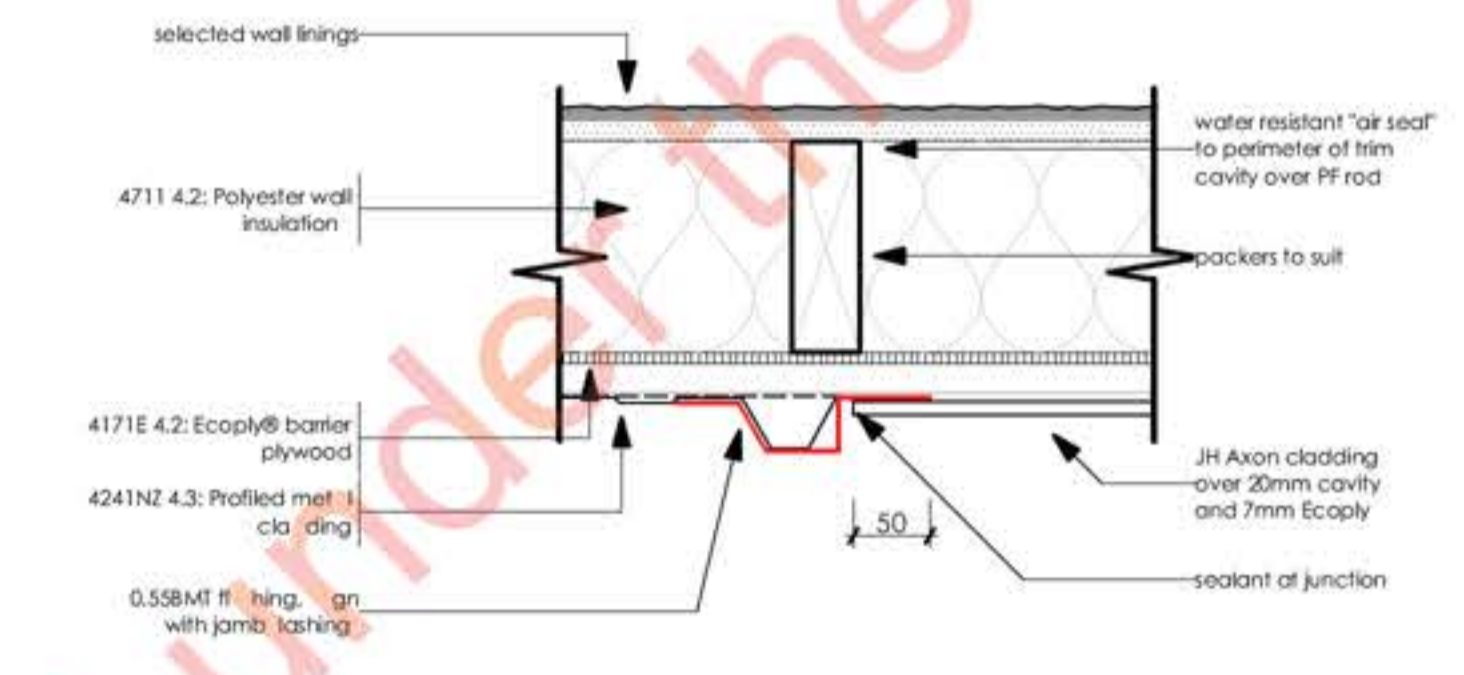
4 Top of Wall - Axon to Soffit
Scale 1:5



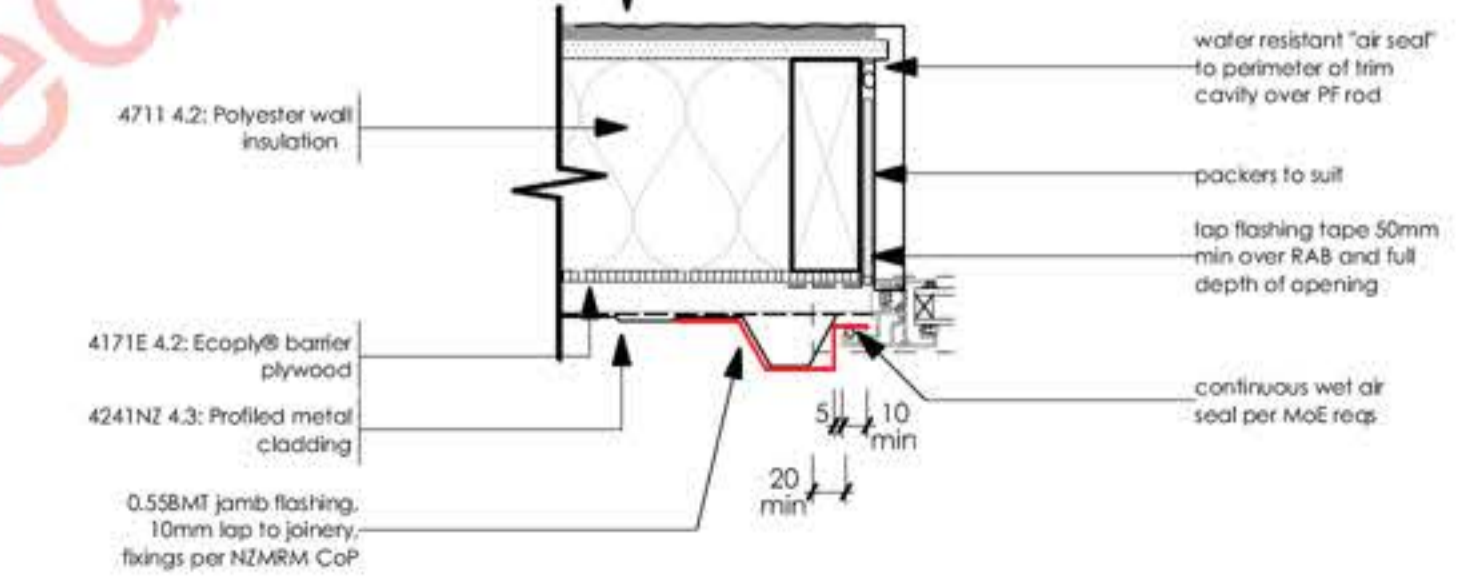
5 Base of wall - Axon to Soffit
Scale 1:5



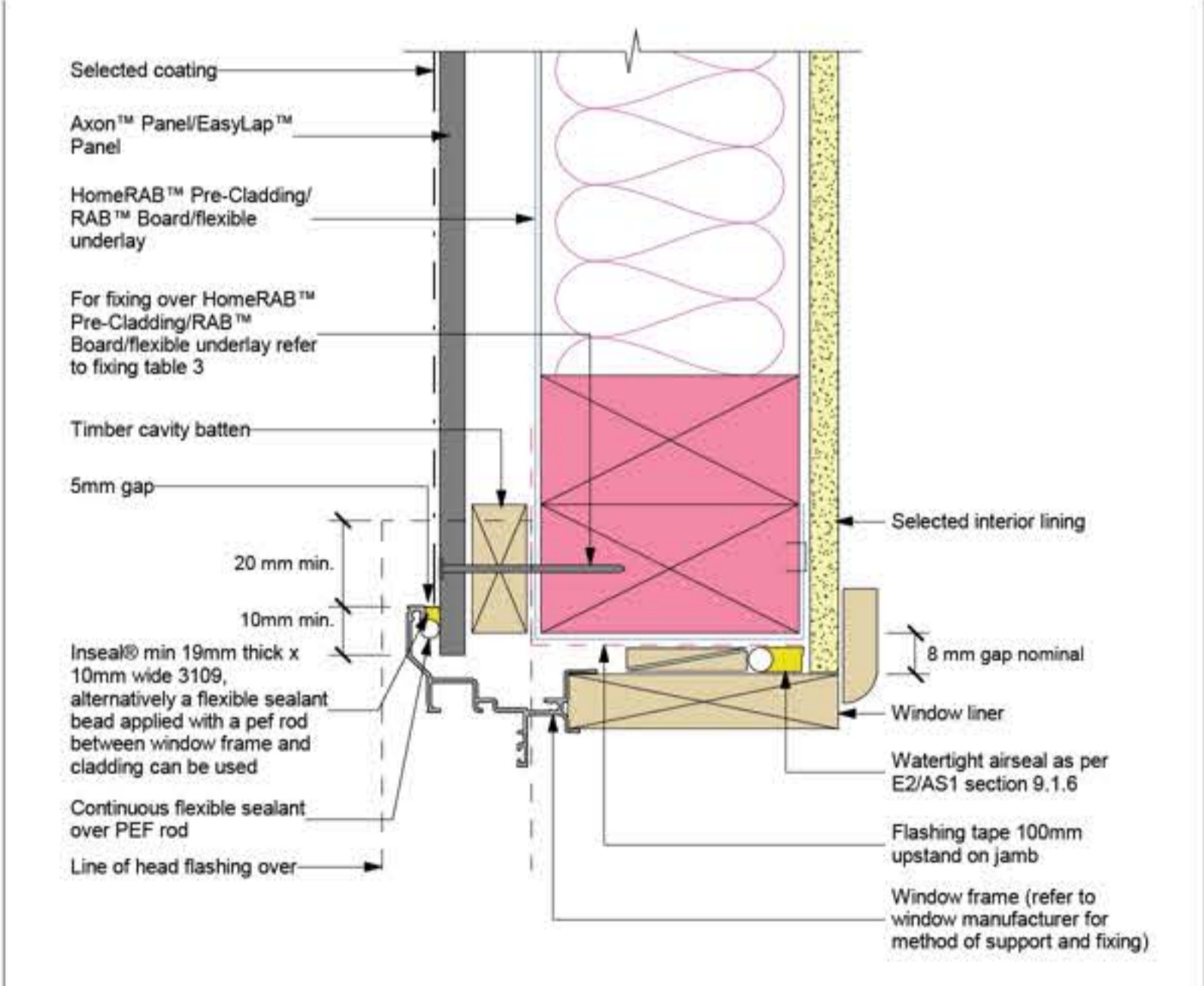
6 Window Details - Head and Sill
Scale 1:5



7 Wall Detail - Cladding Change
Scale 1:5



8 Window Detail - Jamb to Metal
Scale 1:5



Note: When HomeRAB Pre-Cladding/ RAB Board is used flashing tape or flexible underlay to be applied to the entire window opening.

Axon™ Panel/EasyLap™ Panel
 On Timber Cavity Batten with Flexible Underlay
 WINDOW JAMB
 December 2021
 Scale: 1:2
 Figure 13

9 jhl_axon_u_013-WindowJamb

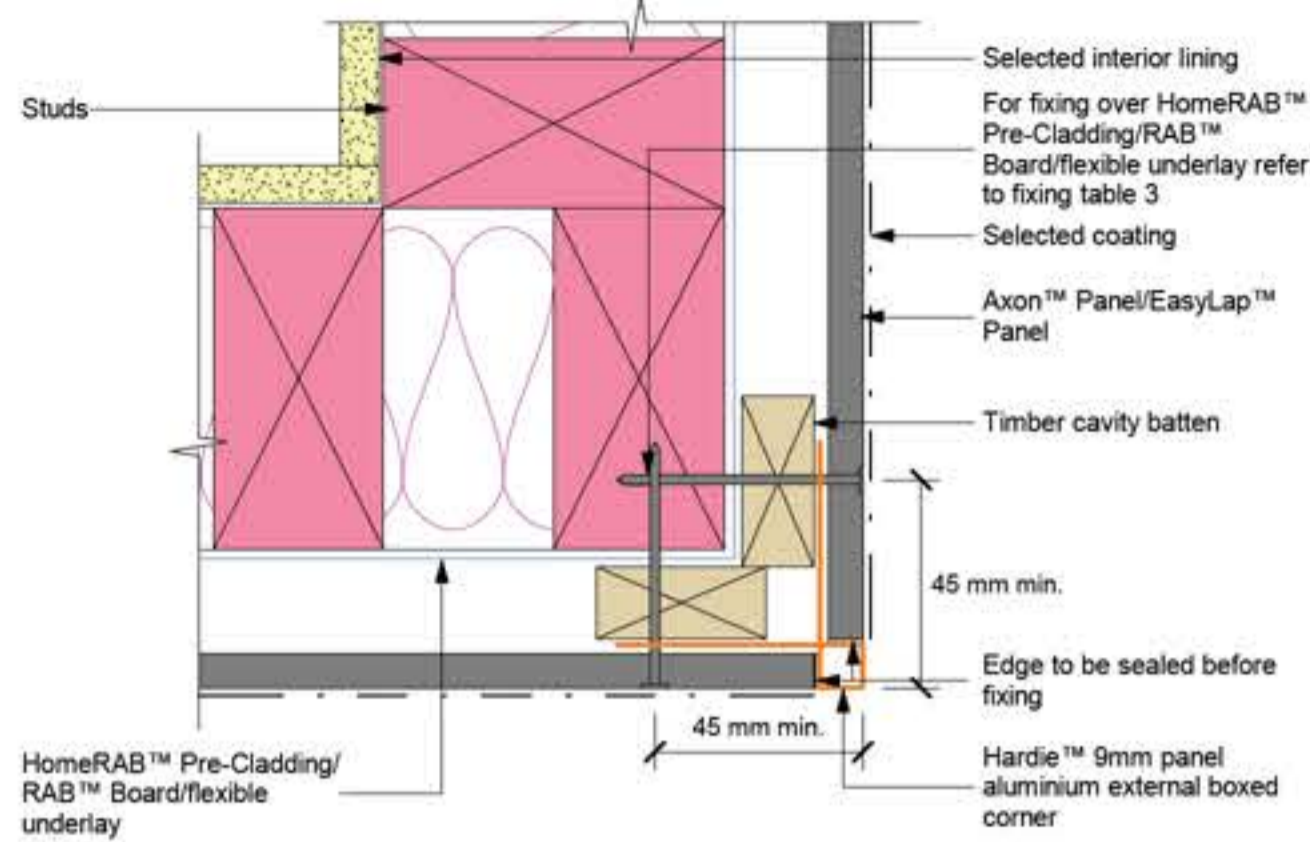
58 18/08/2023 For Construction Issue
 48 14/02/2023 BC Application Rev
 4A 10/02/2023 BC Application
 ID Date Transmittal Set Name

9(2)(b)(ii)

Salisbury Education Support Building
 for Ministry of Education

Cladding Details
 at 67 Salisbury Road, Richmond
 issued 18/08/2023
 scale @A1 1:5
 project ID #22-32
 drawing A4.02.5B

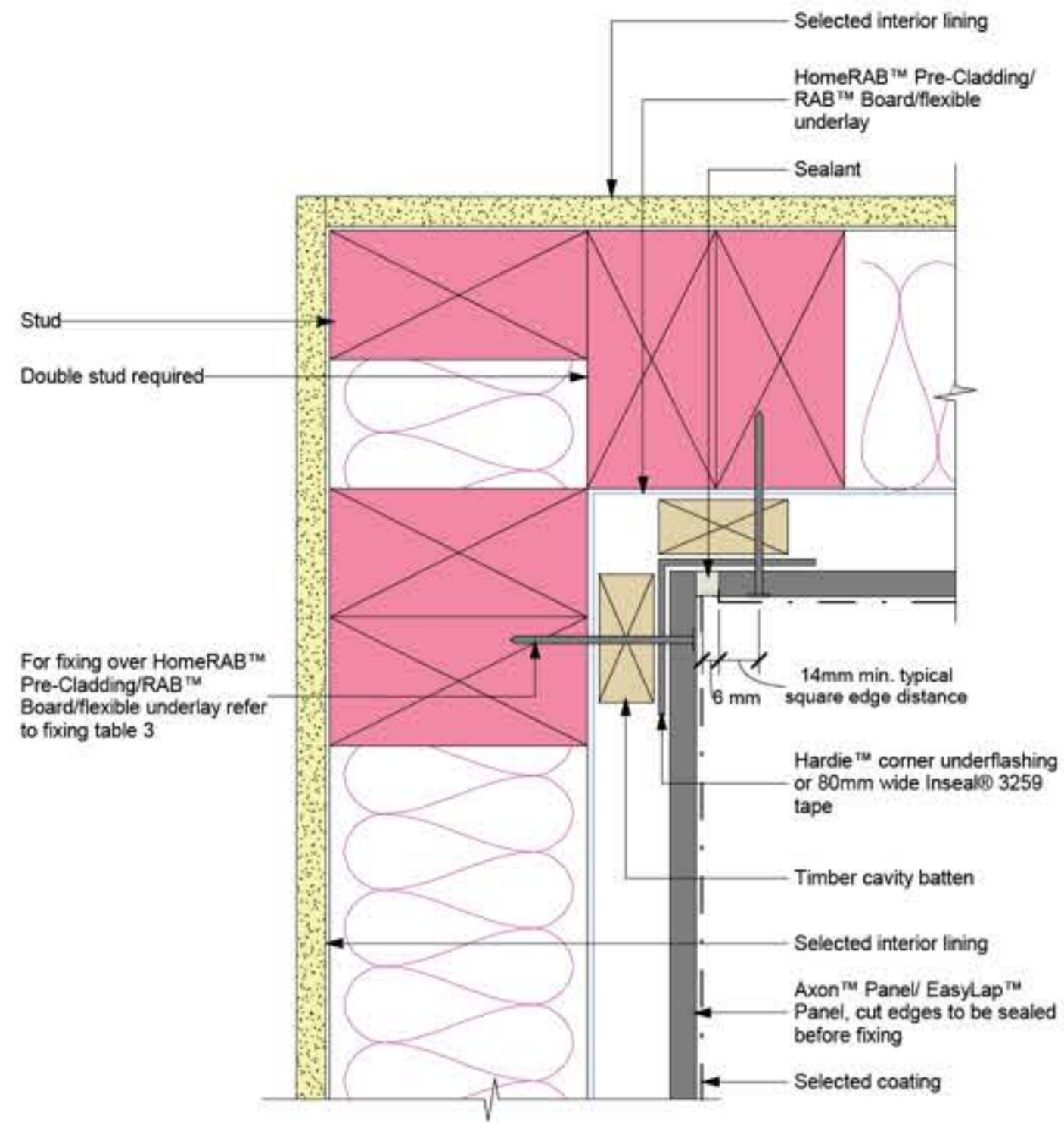
do not scale from drawings, confirm dimensions on site, confirm any discrepancies with the architect prior to construction.



Note:
 • Refer to Figure 27 for jointing with 'n' mould
 • Do not run corner mould continuous over floor joists.

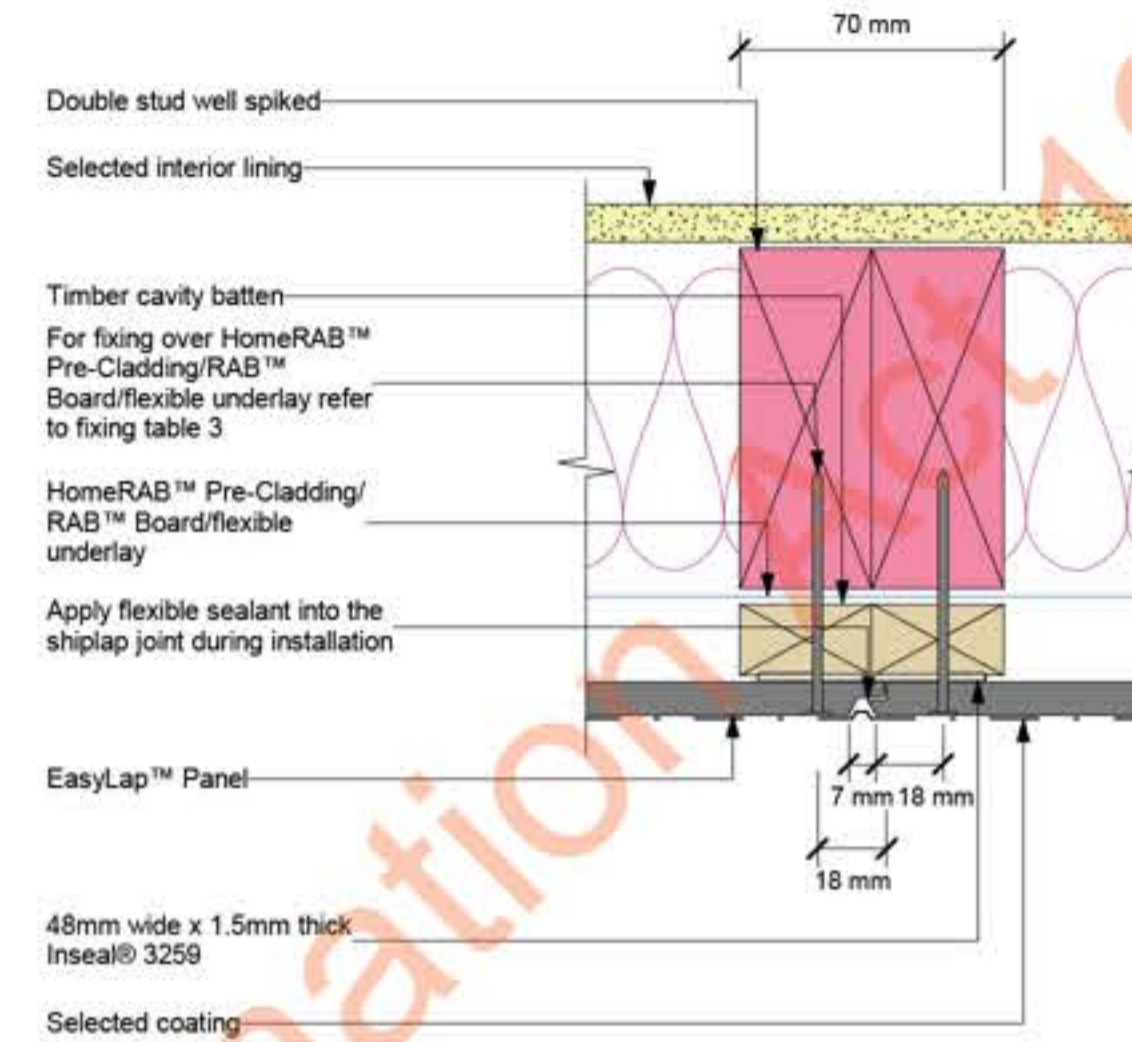
jhl_axon_u_009
JamesHardie
 Axon™ Panel/EasyLap™ Panel
 On Timber Cavity Batten with Flexible Underlay
 EXTERNAL CORNER DETAIL
 December 2021
 Scale: 1 : 2
 Figure 9

3 jhl_axon_u_009-ExtCorner



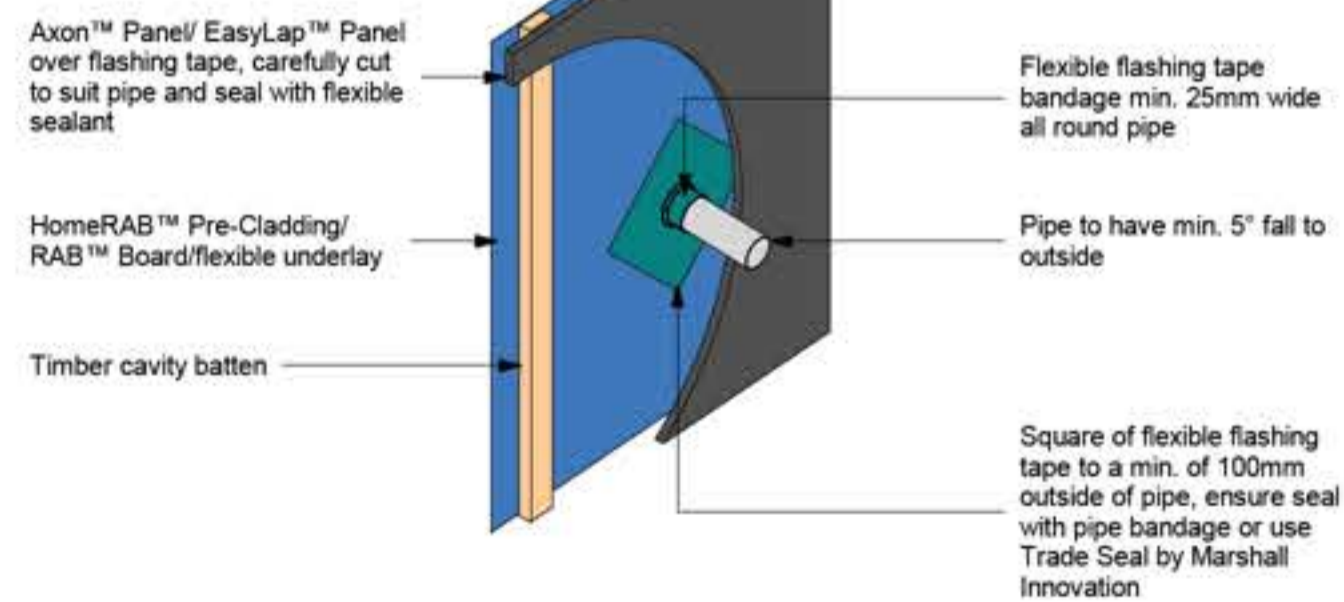
jhl_axon_u_008
JamesHardie
 Axon™ Panel/EasyLap™ Panel
 On Timber Cavity Batten with Flexible Underlay
 INTERNAL CORNER DETAIL
 December 2021
 Scale: 1 : 2
 Figure 8

2 jhl_axon_u_008-IntCorner



jhl_axon_u_007
JamesHardie
 Axon™ Panel/EasyLap™ Panel
 On Timber Cavity Batten with Flexible Underlay
 EASYLAP™ PANEL SHIPLAP JOINT
 December 2021
 Scale: 1 : 2
 Figure 7

1 jhl_axon_u_007-Joint



Note: Site cut edges to be primed

jhl_axon_u_020
JamesHardie
 Axon™ Panel/EasyLap™ Panel
 On Timber Cavity Batten with Flexible Underlay
 PIPE PENETRATION
 December 2021
 Scale:
 Figure 20

4 jhl_axon_u_020-PipePenetration

58 18/08/2023 For Construction Issue
 48 14/02/2023 BC Application Rev
 4A 10/02/2023 BC Application
 ID Date Transmittal Set Name

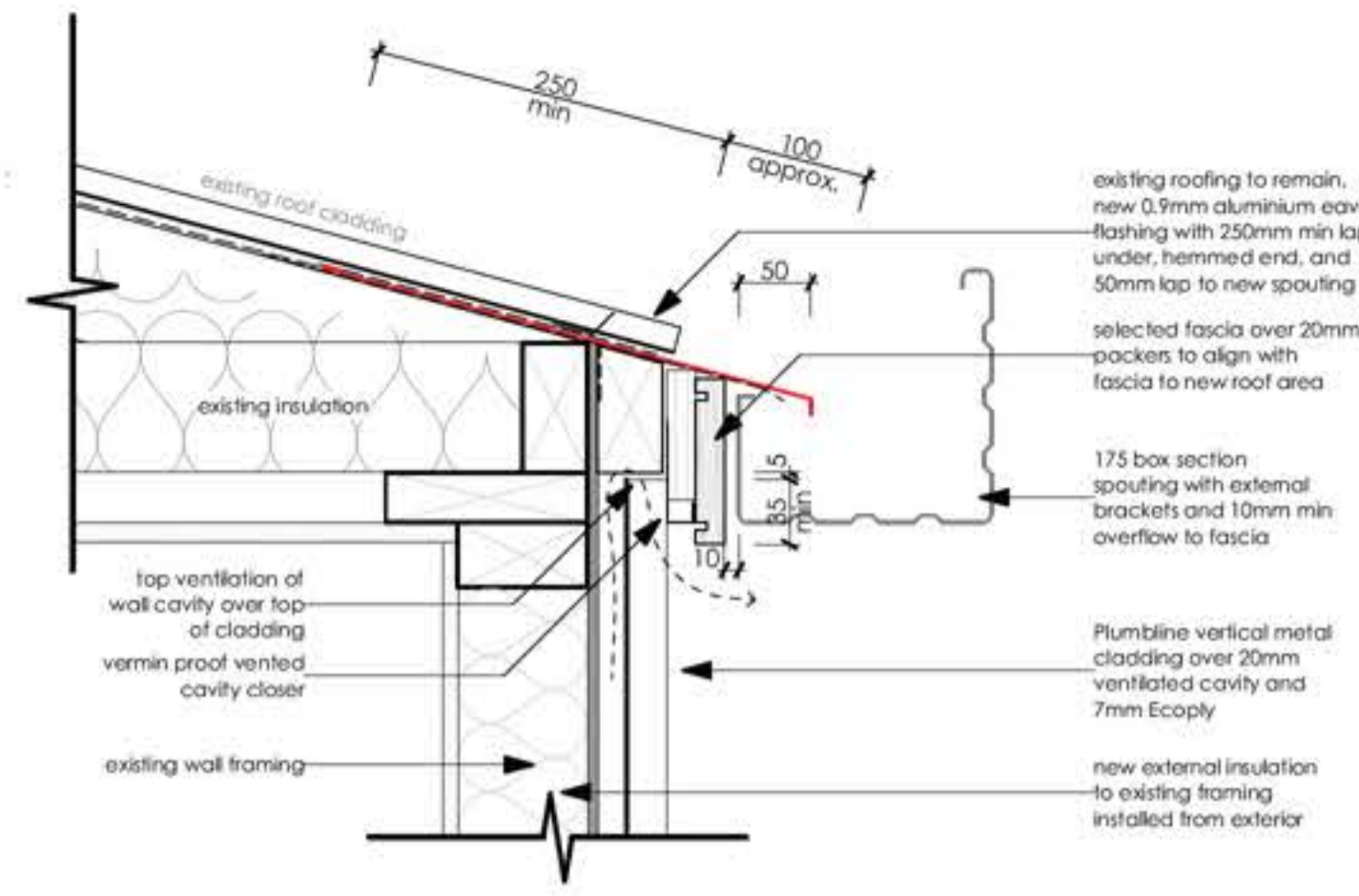
9(2)(b)(ii)

Salisbury Education
 Support Building
 for Ministry of Education

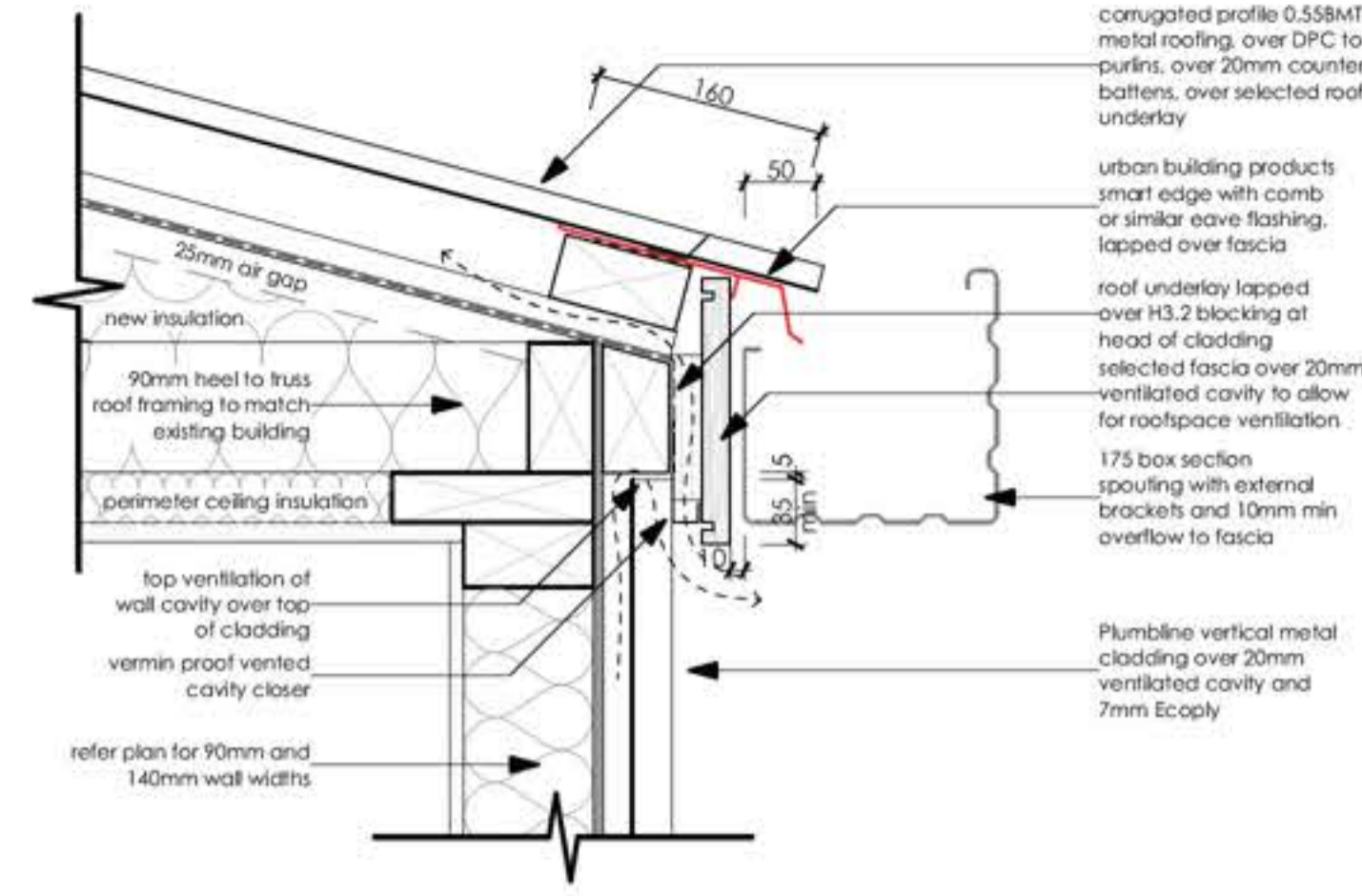
Axon Typical Details

at 67 Salisbury Road, Richmond
 issued 18/08/2023
 scale @A1
 project ID #22-32
 drawing A4.03.5B

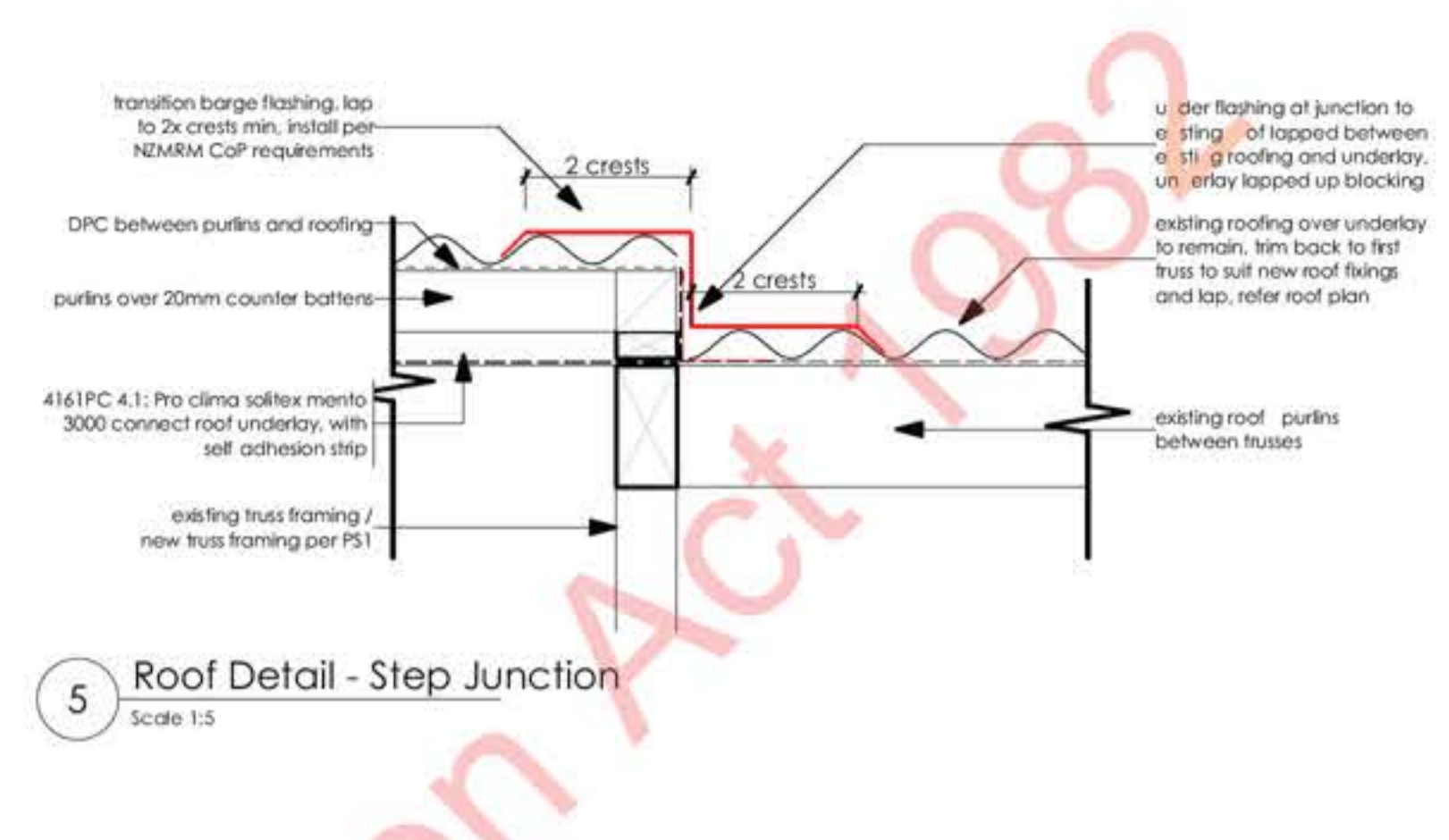
do not scale from drawings, confirm all dimensions on site, confirm any discrepancies with the architect prior to construction.



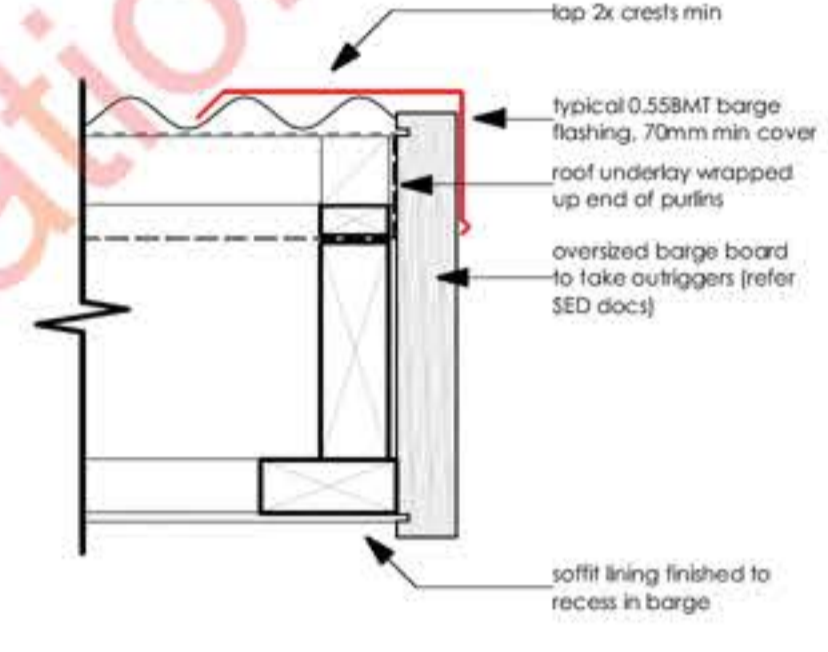
1 Roof Detail - Spouting and Fascia - Existing Roof
Scale 1:5



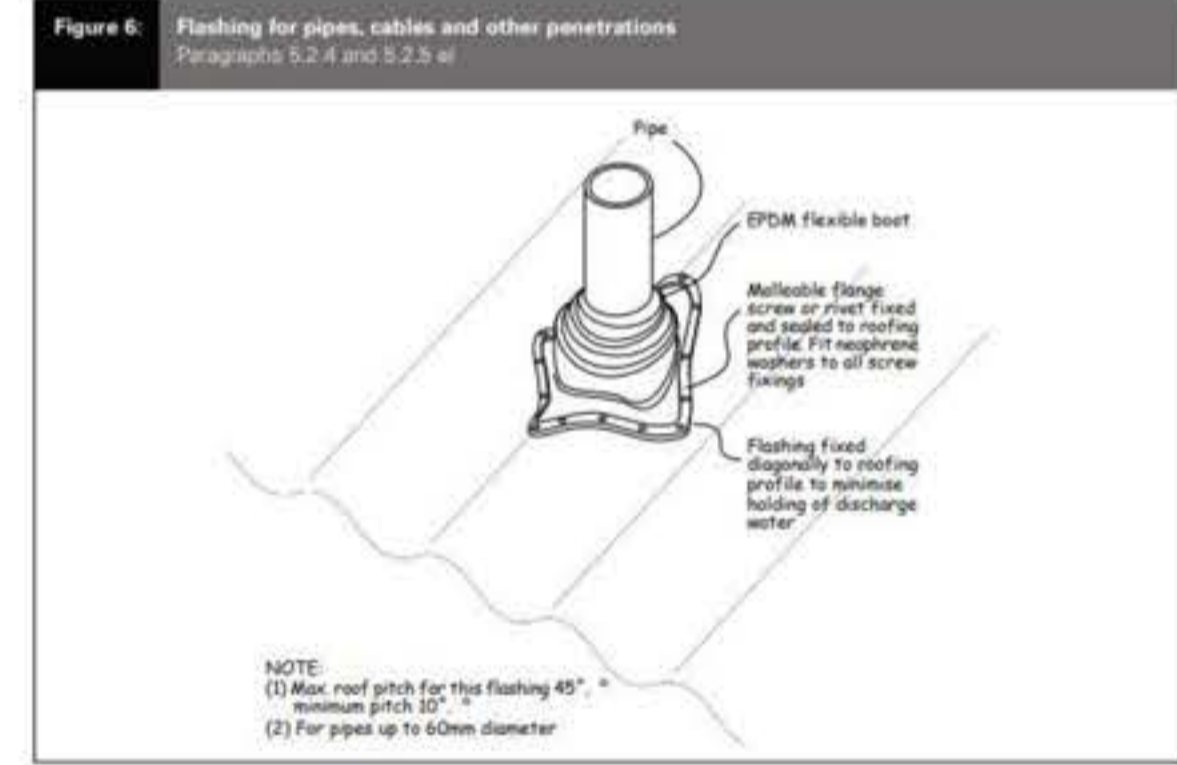
2 Roof Detail - Spouting and Vented Fascia - New Roof
Scale 1:5



5 Roof Detail - Step Junction
Scale 1:5



6 Roof Detail - Feature Gable
Scale 1:5



7 G12 - Roof Penetration Flashing
Not to Scale

W1211-1 Pro Clima Roof Truss-Open Underlay Vented Ridge Cap Detail

Notes:
1. Recommended total amalgamated vent area should be equal to 1:200 ratio between the roof free amalgamated opening area of the vents to the area of insulated ceiling. Vents should be evenly distributed around the roof perimeter. Outlet vents, such as ridge vents, must only be installed in conjunction with inlet vents. Inlet vents should be dimensioned slightly larger than the outlets to ensure air comes from outside and is not drawn from inside. 30% of the total unobstructed area required should be located not more than 900mm below the ridge or highest point of the roof space, measured vertically, with the remaining required area provided by these eave vents.

(Australia Only)
1. Cavity Closer must meet AS 3958 requirements for bushfire protection up to BAL 40 can be achieved by fitting an anti-rod guard made of non-combustible material or mesh or perforated sheet with <= 2mm holes and made of corrosion resistant steel or bronze.

NOTE: <= 10' requires rigid sheathing board

Title: Roof Truss-Open Underlay Vented Ridge Cap Detail
ID: W1211-1 | Issued: 26/05/2020 | Revision: D
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3 Roof Detail - Vent Ridge
Scale 1:5

W1221 Pro Clima Typical Truss Valley Details, 20x45 Counter Battens

Notes:
1. Recommended total amalgamated vent area should be equal to 1:200 ratio between the roof free amalgamated opening area of the vents to the area of insulated ceiling. Vents should be evenly distributed around the roof perimeter. Outlet vents, such as ridge vents, must only be installed in conjunction with inlet vents. Inlet vents should be dimensioned slightly larger than the outlets to ensure air comes from outside and is not drawn from inside. 30% of the total unobstructed area required should be located not more than 900mm below the ridge or highest point of the roof space, measured vertically, with the remaining required area provided by these eave vents.

(Australia Only)
1. Cavity Closer must meet AS 3958 requirements for bushfire protection up to BAL 40 can be achieved by fitting an anti-rod guard made of non-combustible material or mesh or perforated sheet with <= 2mm holes and made of corrosion resistant steel or bronze.

NOTE: Minimum 10° Pitch without rigid sheathing board

Title: Truss Valley Details, 20x45 Counter Battens
ID: W1221 | Issued: 09/06/2020 | Revision: D
© This drawing is the property of Pro Clima NZ Ltd &/or Pro Clima Australia Pty Ltd and must not be copied without permission. This drawing is a guideline only and subject to change without notice. Thermal and hygrothermal performance should match specific design, materials and climate requirements. These can be confirmed by hygrothermal analysis using software e.g. WUFI, StruSoft, Ina and acoustic engineering design and the incorporation of building services (lighting and electrical) should be agreed off by a suitably qualified engineer to ensure compliance with all health and safety requirements.

4 Roof Detail - Valley Gutter
Scale 1:5

Rainfall Intensity (10 Min Duration, 10 Year Return Period)	100 mm/hr
Rainfall Intensity (10 Min Duration, 50 Year Return Period)	120 mm/hr
Short-Term Intensity Multiplication Factor	3.1
Main Roof Pitch	15°
Minimum 3° for valleys	
Secondary Roof Pitch	12.75°
Minimum 3° for valleys	

Enter Valley Dimensions	
Freeboard=30	
B=160°	
Width=130	
D=45	
Valley Width (One Side)	130 mm
Minimum 80mm	
Valley Upstand	45 mm
Freeboard	30 mm
Minimum 20 for current selections	

Max Capacity Roof Area 118.52m²

Conditions and assumptions for valleys:
 1. Mannings n assumed to be 0.014 to represent long term friction conditions
 2. Minimum height of Type A valley returns to be 15 mm
 3. Minimum freeboard of 20mm min for valleys below 8°
 4. Minimum freeboard of 15mm for valleys 8° and steeper

8 NZMFRM CoP - Valley Design Calculation
Not to Scale

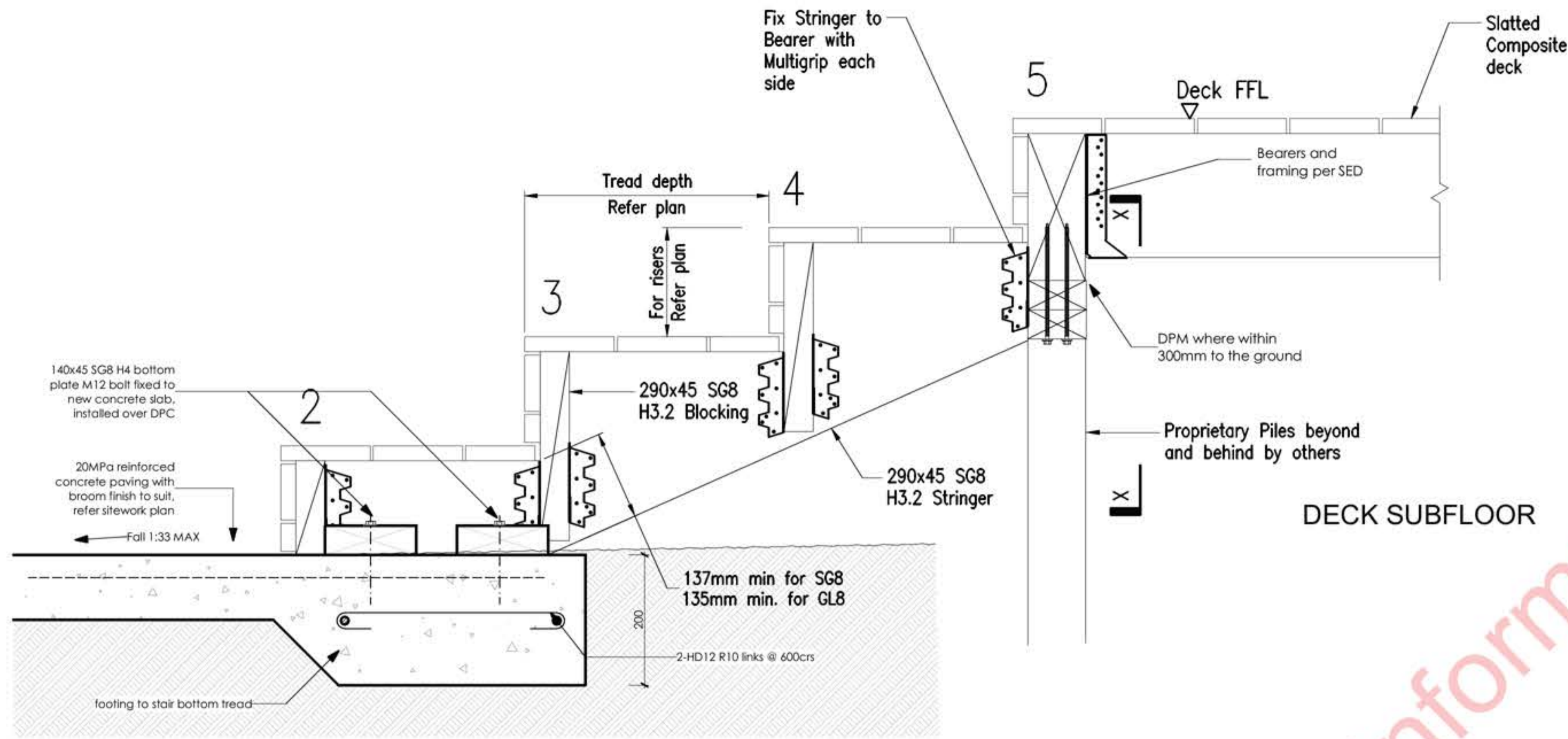
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4E	22/03/2023	BC RFI2 Response
4B	14/02/2023	BC Application Rev
4A	10/02/2023	BC Application
ID	Date	Transmittal Set Name

9(2)(b)(ii)

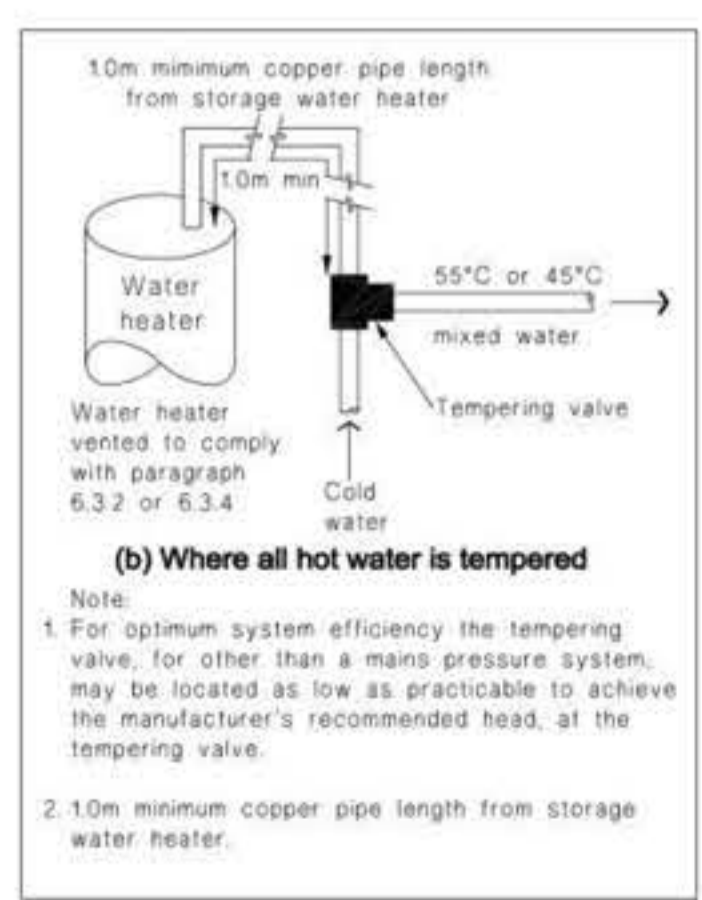
Salisbury Education Support Building
for Ministry of Education

Roof Details
at 67 Salisbury Road, Richmond
issued 18/08/2023
scale @A1 1:5
project ID #22-32
drawing A4.04.5B

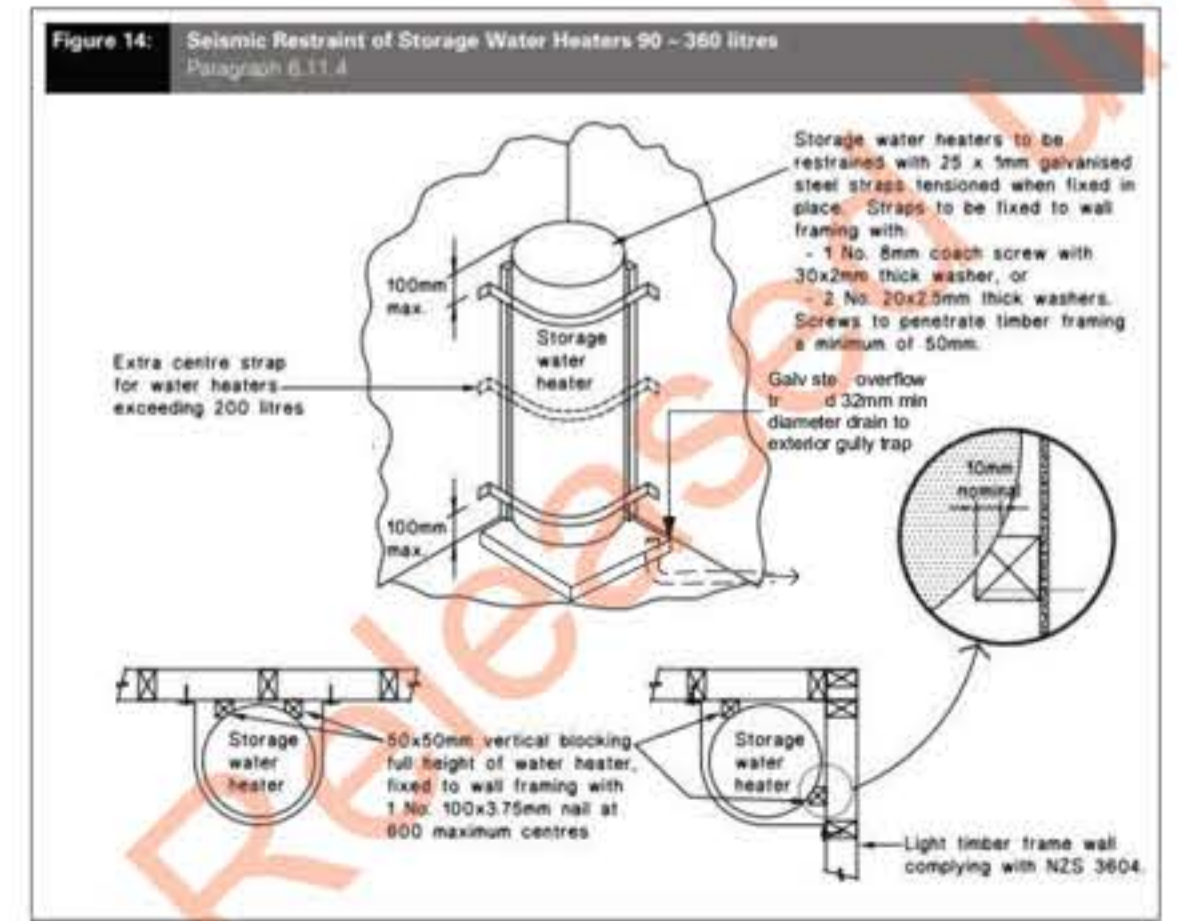
do not scale from drawings, confirm all dimensions on site, confirm any discrepancies with the architect prior to construction.



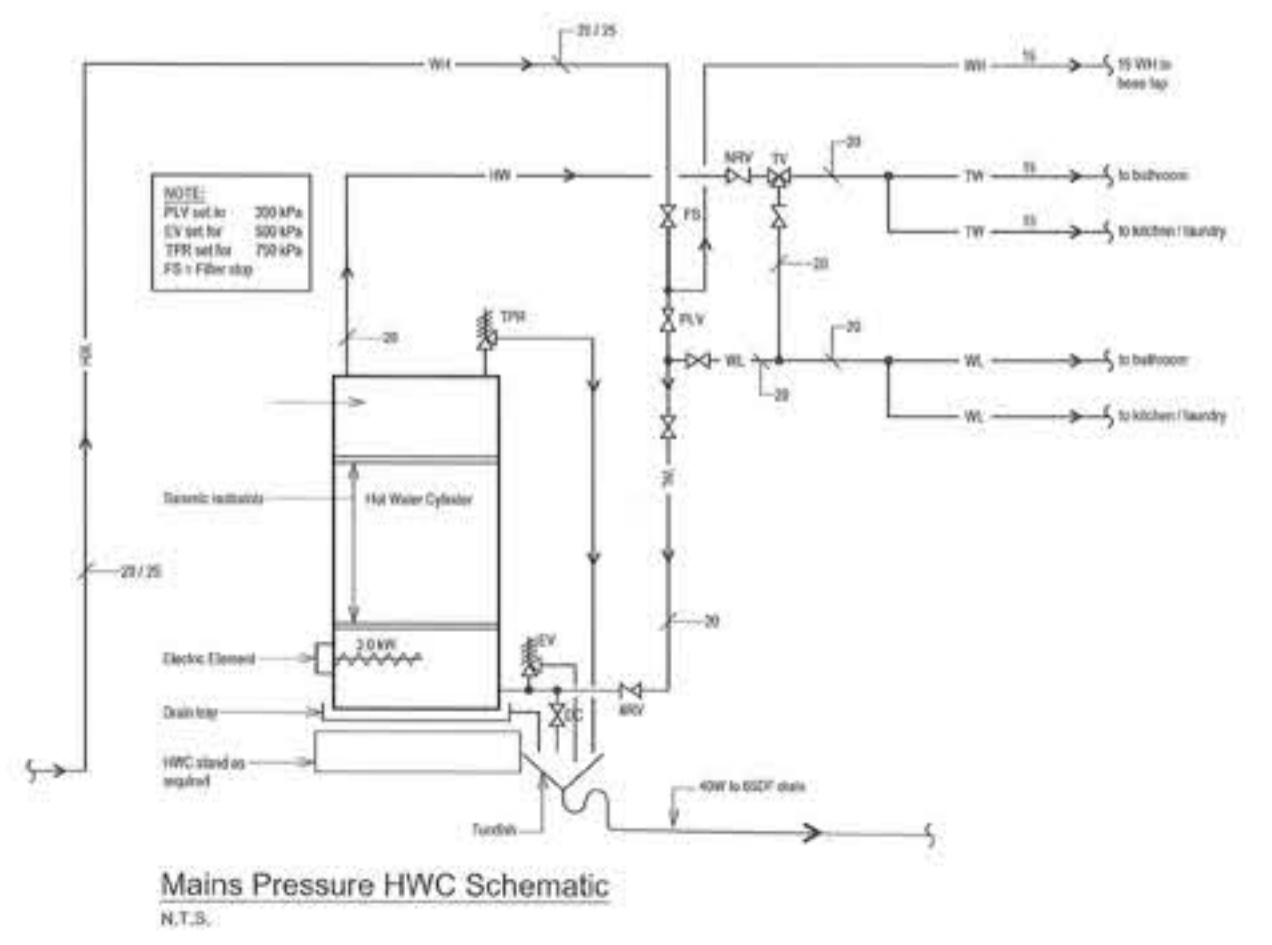
1 Steps to Deck - Typical
Scale 1:5



G12-AS1 Tempering Valve
Scale NTS



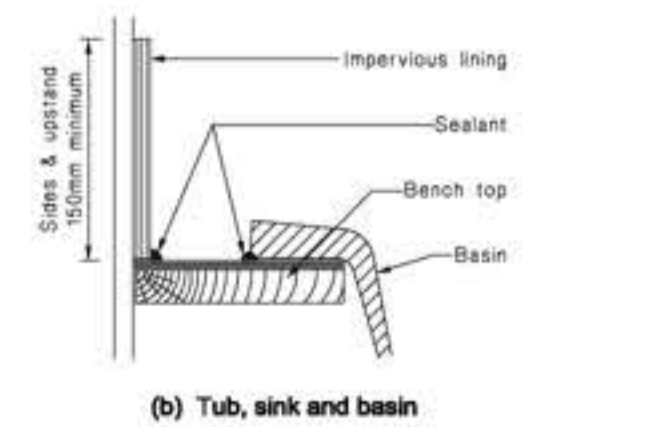
G12 - HWC Seismic Restraint
Scale NTS



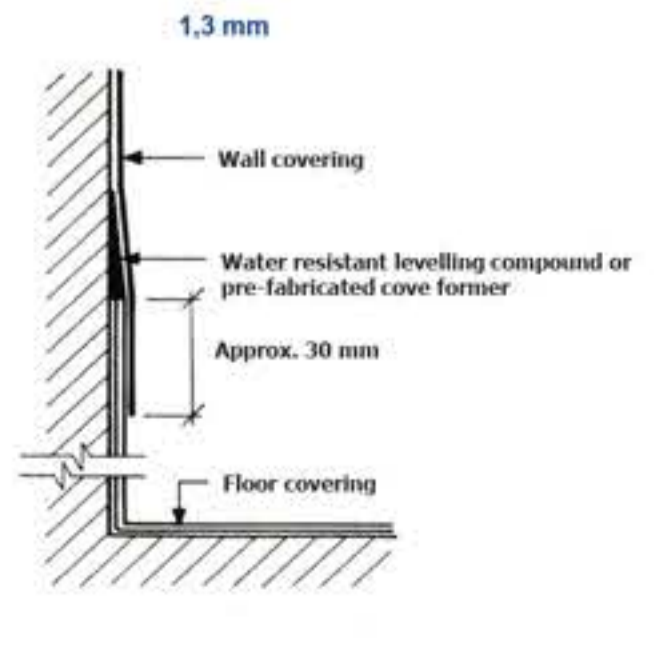
Plumbing Schematic
Scale NTS

HYDRAULICS LEGEND	
Existing Pipework	Non-Return Valve
Galvanizing to be removed	Tempering Valve
New Pipework	Filter Strip
Pipes not at high level or in ceiling space	Shower
Pipes on outside of building or at low level	Back Flow Preventer
Pipes for water flow or better ground	Safety Valve
Pipes for expansion of high level	Expansion Valve
Pipework shown through structural beam	Temperature & Pressure Relief Valve
Flow	Check Pipe Connection
Return	Class Pipe
TH Temporal Water (>50°C)	Inspection Opening
HW Domestic Hot Water	Swag - Type 1
WM High Pressure Cold Water (>100kPa)	Swag - Type 2
WL Low Pressure Cold Water (<100kPa)	Circulating Pump
GL LPG Low Pressure	Flow Tap - Lockable type
GH LPG High Pressure	Pressure Change
ST Shower - Full	Floor Waste
SH Shower - Showerer	Pressure Gauge Cock
SS Sill Stop	Temperature Pocket
V Waste pipe	Temperature Sensor
W Waste pipe	Expansion Valve
Pipe work wrapping	RP - Redding Pipe
Pipe work sliding	FWD - Floor Waste Gully
Flow direction	FWD - Floor Waste
Change in pipe size	GI - Gully Stop
Pipe connection	ORV - OverFlow Relief Valve
Isolating valve	
Regulating valve	
Drain Cock	
Pressure Reducing Valve	
Pressure Limiting Valve	

Wet area reference details, refer to manufacturer installation instructions attached



E3 Vinyl to Basin
Not to Scale



Tarkett Wetroom Coving
Not to Scale

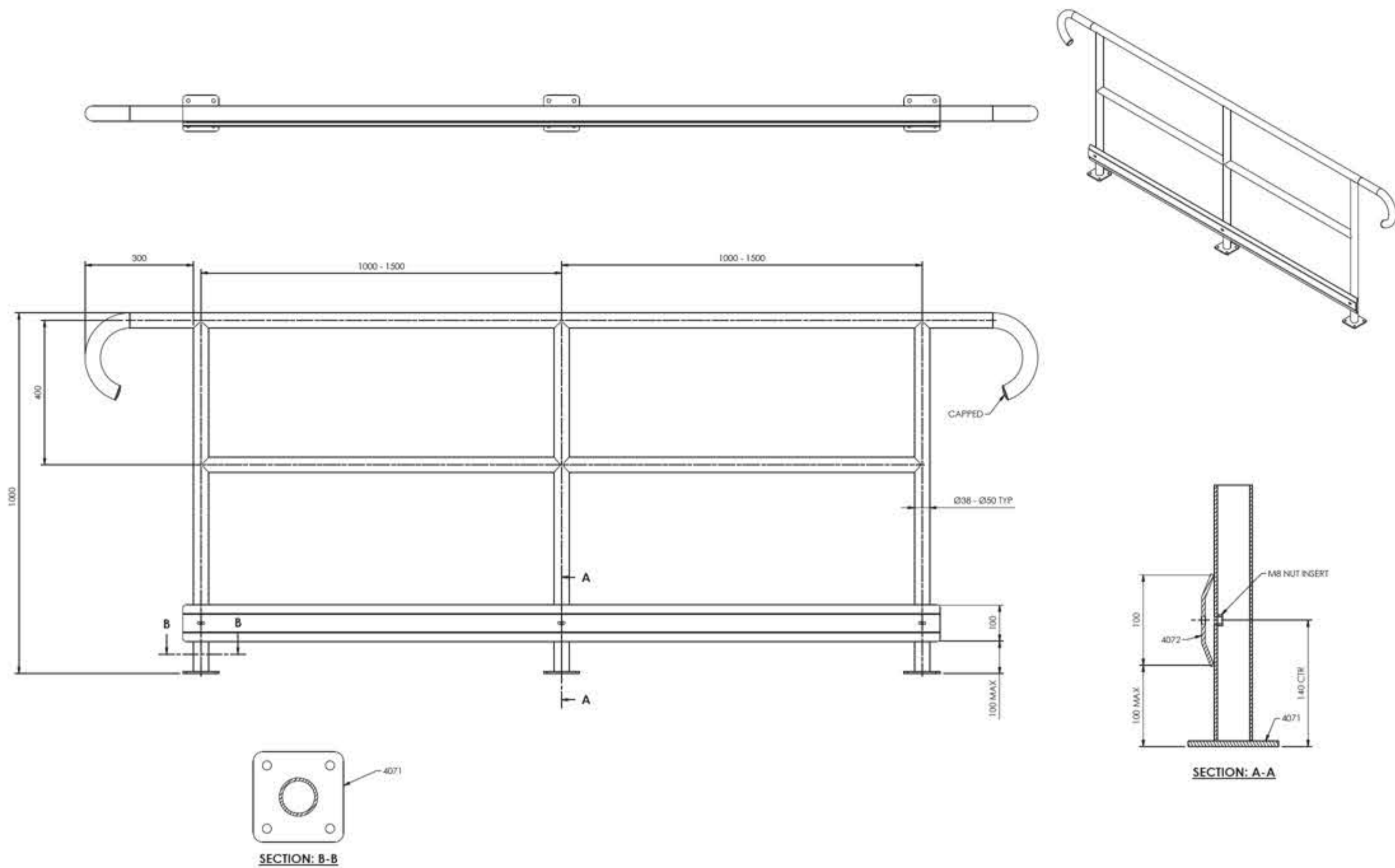
58	18/08/2023	For Construction Issue
4D	7/03/2023	BC RFI Response
4B	14/02/2023	BC Application Rev
4A	10/02/2023	BC Application
ID	Date	Transmittal Set Name

9(2)(b)(ii)

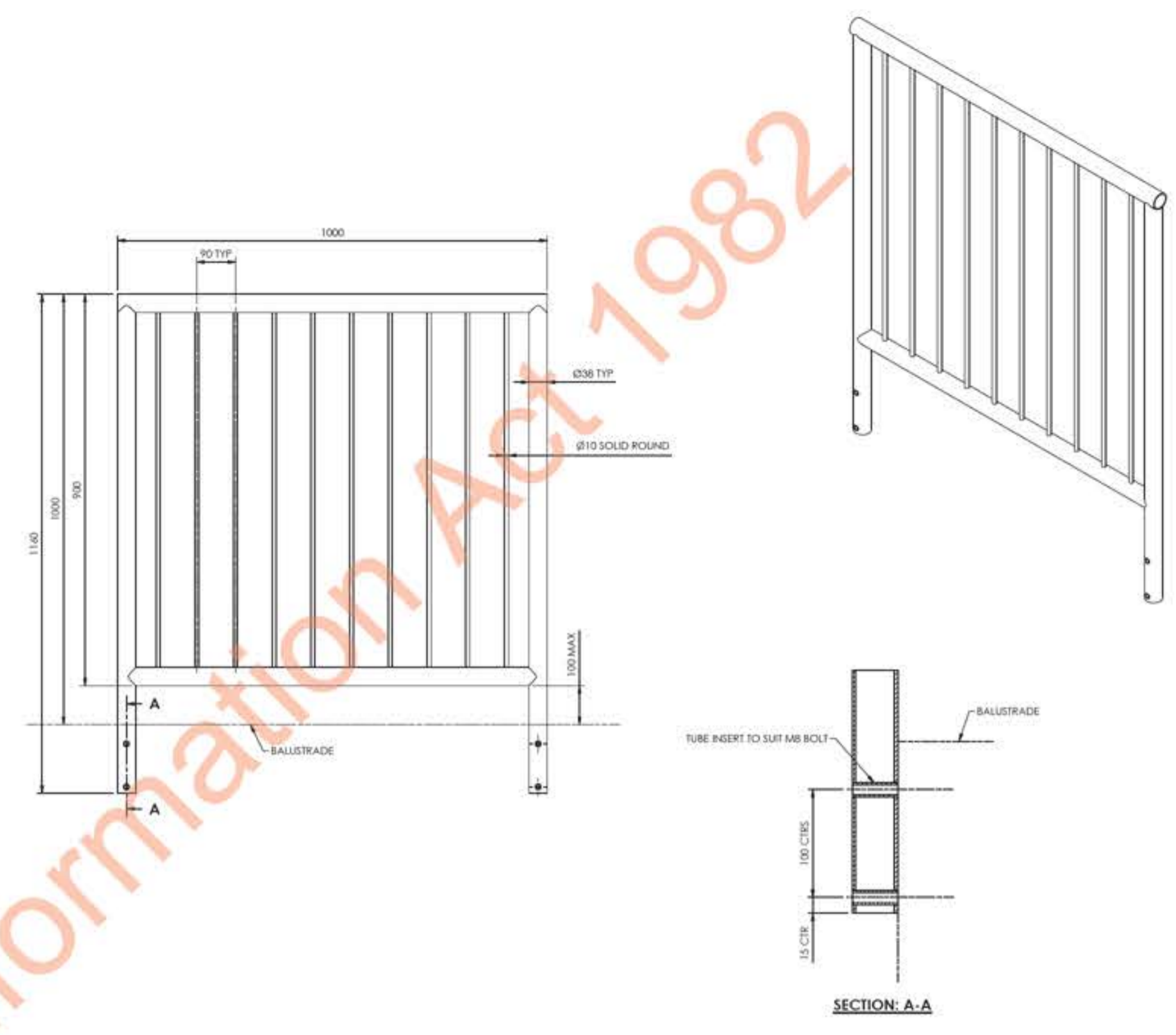
Salisbury Education Support Building
for Ministry of Education

General Details
at 67 Salisbury Road, Richmond
issued 18/08/2023
scale @A1 1:5
project ID #22-32
drawing A4.05.5B

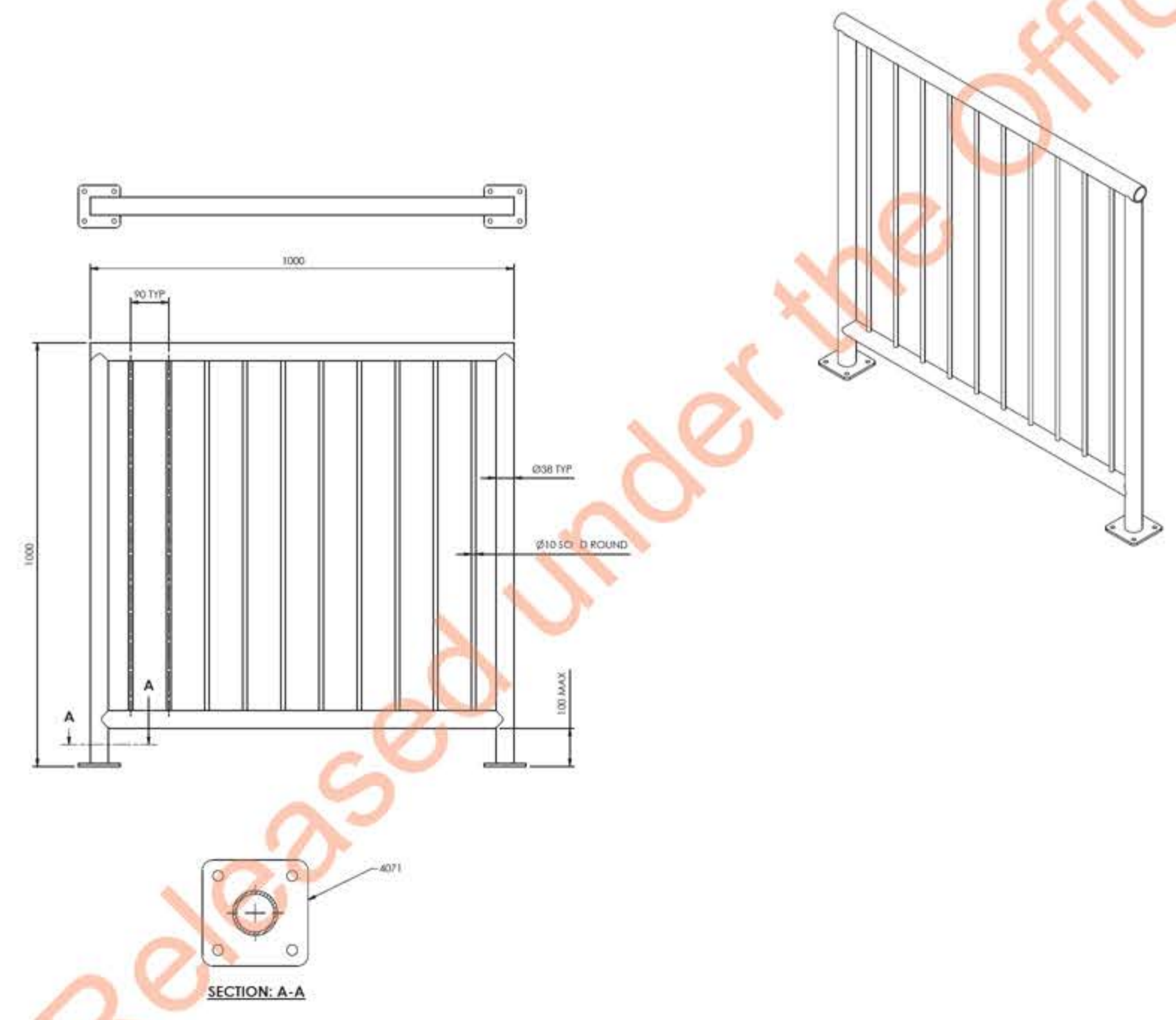
do not scale from drawings, confirm all dimensions on site, confirm any discrepancies with the architect prior to construction.



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ALL STAINLESS 20 VENICE PLACE NELSON PH +64 22092293				HANDRAILS TYPE A
CHECKED BY: HP MODELLED BY: HP DRAWING NUMBER: 03-2023				APPROVAL FOR DESIGN: HP DESCRIPTION: DESCRIPTION BY: APP DATE: 31/01/2023



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ALL STAINLESS 20 VENICE PLACE NELSON PH +64 22092293				HANDRAILS TYPE C
CHECKED BY: HP MODELLED BY: HP DRAWING NUMBER: 03-2025				APPROVAL FOR DESIGN: HP DESCRIPTION: DESCRIPTION BY: APP DATE: 31/01/2023



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ALL STAINLESS 20 VENICE PLACE NELSON PH +64 22092293				HANDRAILS TYPE B
CHECKED BY: HP MODELLED BY: HP DRAWING NUMBER: 03-2024				APPROVAL FOR DESIGN: HP DESCRIPTION: DESCRIPTION BY: APP DATE: 31/01/2023

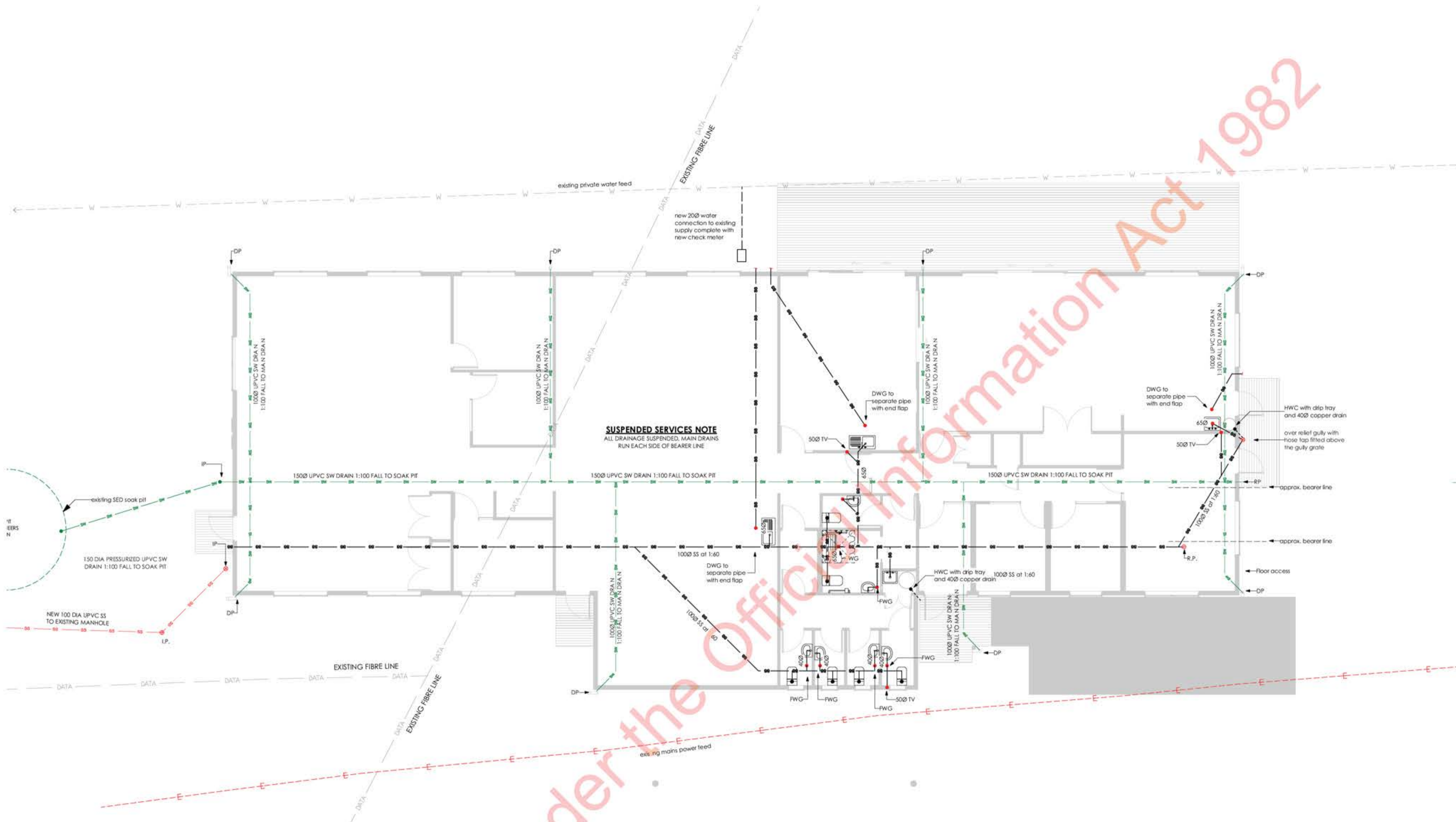
58	18/08/2023	For Construction Issue
48	14/02/2023	BC Application Rev
4A	10/02/2023	BC Application
ID	Date	Transmittal Set Name

9(2)(b)(ii)

Salisbury Education Support Building
for Ministry of Education

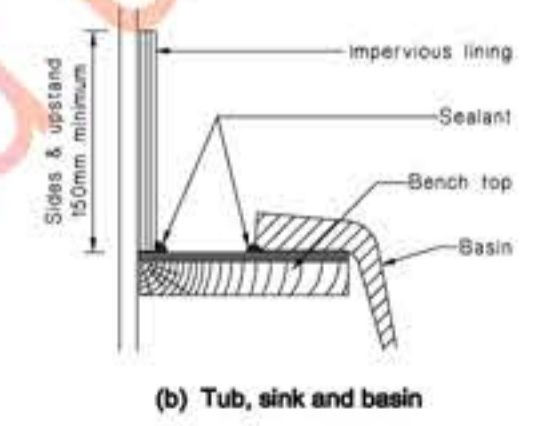
Handrail Typical Details
at 67 Salisbury Road, Richmond
issued 18/08/2023
scale @A1 1:2
project ID #22-32
drawing **A4.06.5B**

do not scale from drawings, confirm all dimensions on site, confirm any discrepancies with the architect prior to construction.

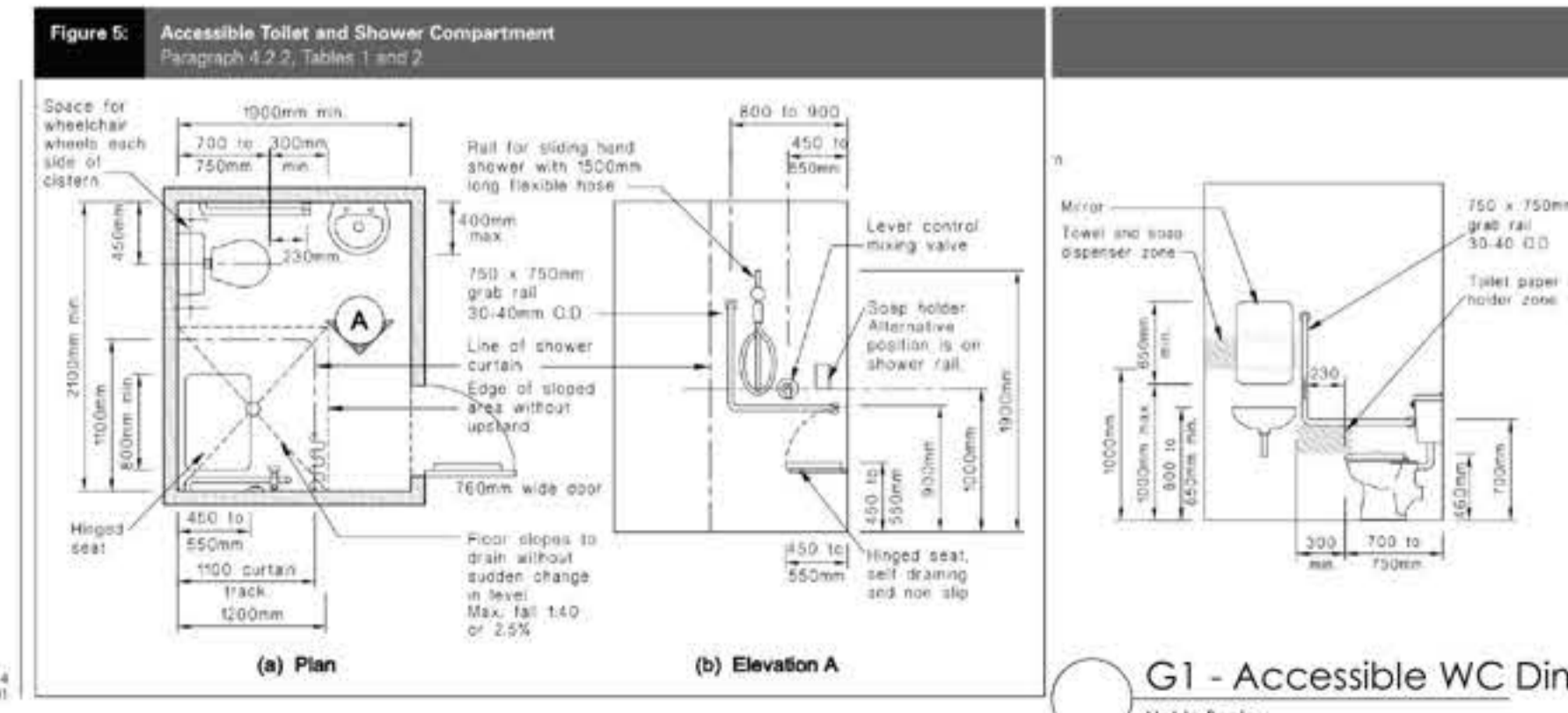


SUSPENDED SERVICES NOTE
ALL DRAINAGE SUSPENDED, MAIN DRAINS RUN EACH SIDE OF BEARER LINE

Plumbing, Drainage and Site Services
Scale 1:75



E3-internal-moisture-2nd-edition-amendment7
Not to Scale



G1 - Accessible WC and Shower Dimensions
Not to Scale

G1 - Accessible WC Dimensions
Not to Scale

Plumbing Notes

Stormwater
All roof surface water collected to new 30,000L retention tank before discharge to soak pit as per Rounce design report.

1000 UPVC drains typically at 1:100 fall to tanks, fully sealed to 600mm above the tank inlet.

Carpark area surface water collected and discharged to second soak pit as per Rounce design report.

Wastewater
Plumbing and drainage to comply with local council requirements and AS/NZS3500.2:2015

All sinks to kitchens / kitchenettes to have integrated overflows.

Drainage plan to be confirmed by plumber on site prior to build

All sewer drainage under ground level to be laid clear of all slab thickenings and foundation piles.

Gradient of discharge pipes shall be 1:40 for 400, 500 and 650 drains, 1:60 for 800 and 1000.

All plumbing pipework to be cross linked polyethylene (PE-Xa) complete with pipework insulation.

All hot water to be supplied from electric mains pressure hot water cylinders located per plan.

All HWC's to have safe tray and 400 overflow pipe to exterior.

R.P. Rodding point
I.P. Inspection point
F.W.G. Floor Waste Gully

58 18/08/2023 For Construction Issue
48 14/02/2023 BC Application Rev
4A 10/02/2023 BC Application
3E 8/02/2023 Progress Set
3C 24/01/2023 Progress for Consultants
ID Date Transmittal Set Name

9(2)(b)(ii)

Salisbury Education
Support Building
for Ministry of Education
Plumbing and Site Services Plan

at 67 Salisbury Road, Richmond
issued 18/08/2023
scale @A1 1:75
project ID #22-32
drawing A5.01.5B

do not scale from drawings, confirm dimensions on site, confirm any discrepancies with the architect prior to construction.

General Notes

Fire Design

Refer to fire engineers report for fire alarm system, signage requirements, door control, etc.

Fire alarm panel located in window adjacent to entry lobby - to be confirmed by FENZ.

Fire alarm system to include both audio and visual alarm to suit low of hearing occupants.

Emergency lighting

Refer to emergency lighting design and PS1 certificate.

Mechanical

Refer to mechanical design and PS1 certificate. Kitchen to staffroom provided with 50L/s min extraction, toilets 25L/s.

Doors to toilet cubicles and lobby undercut 25mm to allow for airflow.

Electrical

Intercom located to entry lobby. Access control doors with closers, refer door & hardware schedules. Security panel located in hub cupboard adjacent to mulluse. MSB / DB recessed into WC lobby wall, double frame to avoid clash with plumbing fixtures.

Electrical and data layouts to suit fitout design and MoE ICT reqs.

Ceiling Notes

Make good existing ceilings where altered or damaged as part of relocation and alterations.

New ceilings 13mm Gib Ultraline typically, 13mm Gib Aqualine to wet areas, square stopped, over metal ceiling battens.

Finished ceiling height of new area to match existing.

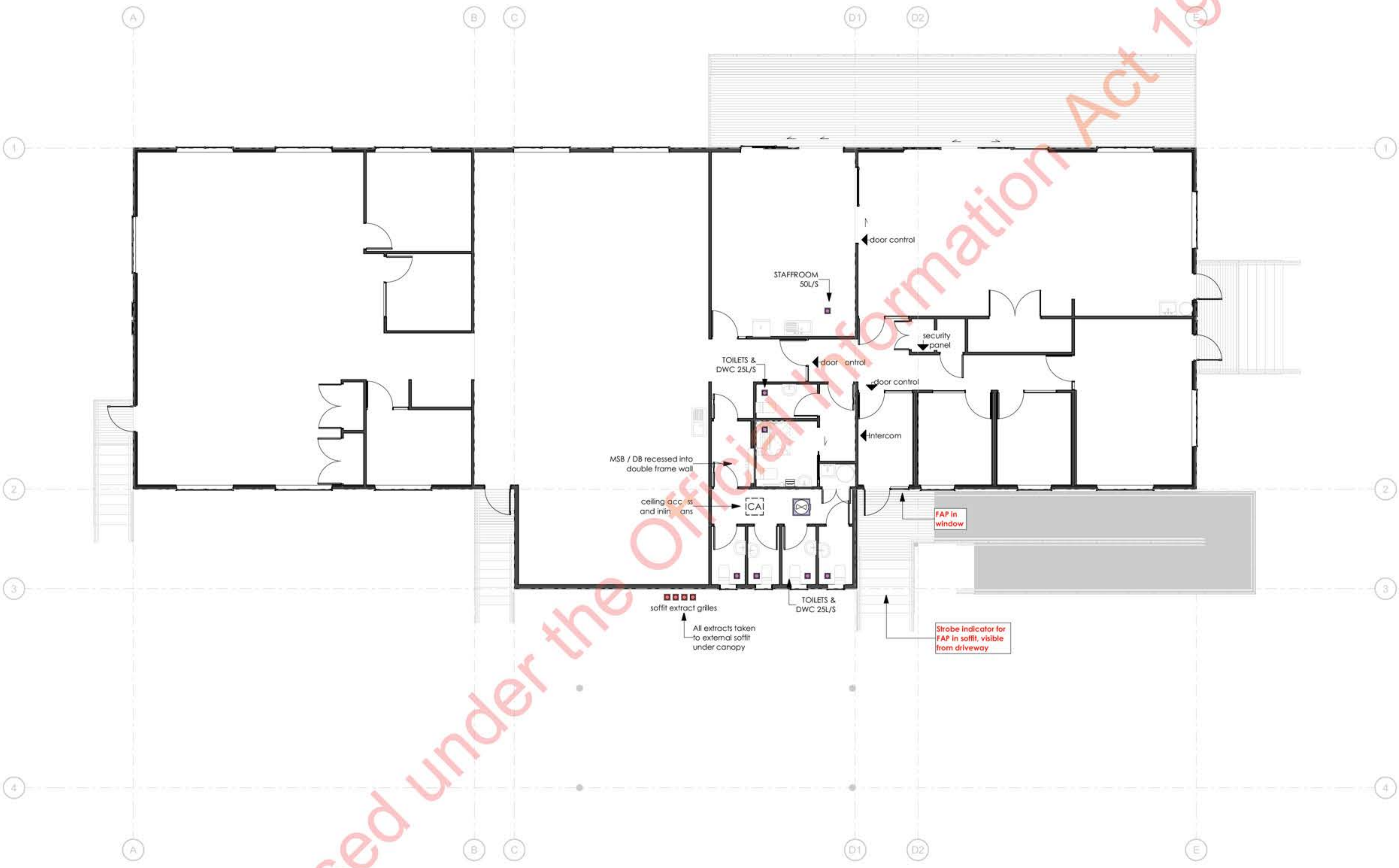
58	18/08/2023	For Construction Issue
4D	7/03/2023	BC RFI Response
48	14/02/2023	BC Application Rev
4A	10/02/2023	BC Application
ID	Date	Transmittal Set Name

9(2)(b)(ii)

Salisbury Education Support Building
for Ministry of Education
Mechanical, Electrical and Fire

at 67 Salisbury Road, Richmond
issued 18/08/2023
scale @A1 1:75
project ID #22-32
drawing A5.02.5B

do not scale from drawings, confirm all dimensions on site, confirm any discrepancies with the architect prior to construction.





Minutes of Meeting

Contract	Salisbury Education Support Building
Principal	Ministry of Education
Location	Salisbury School, Richmond
Date	19 May 2022
Time	15:00
Meeting number	#1
Author	Rua Sargent
Present	Lance Florence, 9(2)(a), Jody Nichols, Mary Pupich (MOE); Michael Harrison (RTLB); Matthew Koning, Zoe Taylor (Ko Taku Reo); Elaine Gilmour, Karen Stobbs (BLENZ)
Apologies	John Hewlett
Distribution	Cc to Riki Edmonds

Item	Description	Action	Date
1.	Whakamihi		
1.1.	Introductions Kia Ora, ka pai te tūtaki ki ā koutou. Greeting everyone, it is nice to meet you all.		
1.2.	The groups wish to acknowledge the support of Salisbury School for accommodating and supporting them.		
2.	Previous minutes accepted	N/A	
3.	Previous minutes actions		
3.1.			
4.	Background		
4.1.	<p>There are three services using a building on the Salisbury School site: RTLB (Resource Teacher: Learning and Behaviour), Ko Taku Reo (Deaf Education New Zealand), and BLENZ (Blind and Low Vision Education network NZ) Salisbury School site is being redeveloped and the three services are to be relocated into a new building.</p> <p>Planning for this project has been drawn out. This has been frustrating for the groups and particularly in the management of their staff expectations and wellbeing.</p> <p>The project has now been given to MOE Minor Works to deliver. Lance is very keen to get the project moving and 9(2)(a) has been assigned as Delivery Manager. Rua will assist 9(2)(a) as Project Manager in Whakatū.</p>		

4.2.	RTLB <ul style="list-style-type: none"> • Current staff 23 including manager + 1 coming. • Request a separate office for the manager and another separate office for the 3 practice leads. • The teachers are itinerant so open plan hot desk space is OK and there is some space in Motueka. • A shared meeting space needs to be able to cater for the full staff, which happens three times a term. • Need staff kitchen facilities. • There are still a lot of resources requiring storage. 		
4.3.	Ko Taku Reo <ul style="list-style-type: none"> • Service caters for ages 5 to 21 years old • Staff are sometimes itinerant, but they also need to be able to cater for whānau and learning on site. • 5 to 6 staff including tutor • Very important that the environment meets the sensory requirements. • There are specific requirements for fire alarms. • Staff need to be able to stand back from the work stations to enable them to communicate effectively. They use multiple cameras. • There is a sensory design guideline available. • Small private meeting rooms important. • Refer original brief 		
4.4.	BLENZ <ul style="list-style-type: none"> • Service caters from birth to end of school • 4 staff, 1 in Blenheim, 1 x admin • The service provides a community hub. • Staff are sometimes itinerant but they also need to be able to cater for teaching on site. • Need space for resources plus resource making • Require a small meeting room plus larger shared meeting space • Need to have a shower • 2 x carparks • This set up is similar to other sites around the country 		
5.	Solution		
5.1.	<p>The building will be new and suggest a modular solution would provide the most efficient delivery in terms of time and cost.</p> <p>There is a fixed budget, and the new building will need to provide adaptable spaces.</p> <p>There is likely to be a reasonable consideration to carparking and access. There is also likely to be considerable costs to installing infrastructure.</p> <p>The location of this facility is dependent upon master planning for the whole site.</p> <p>The current master layout is shown here:</p>		



- 5.2. Internal requirements could be distilled as follows (this is very preliminary, and we will certainly continue to consult with all stakeholders).
- Flexible space that functions as a workplace, a teaching environment, a community hub, a safe place for whānau and staff to have private conversations.
 - Very much acknowledging accessibility requirements and not just to tick the building consent boxes.
 - In accordance with applicable design standards for blind / low vision and deaf / hard of hearing. Important to note that m² allocations do not allow for the specific requirements of some of the users.
 - Large open plan office area.
 - Board room / staff room that can be booked out.
 - Kitchen to serve on site staff and catering for larger meetings and events.
 - Toilets and a shower.
 - Resource storage required.
 - Lots of specific ICT requirements.

5.3.	The exterior will need to provide good access and carparking. We will need to have a think about how to be sensible about this, so we don't spend all our money on asphalt!		
6.	More information		
6.1.	MOE <ul style="list-style-type: none"> • Confirm entitlements • Look at C3 resource allocation • Provide projected roll numbers for the next few years so we don't outgrow the build 	Jody	
6.2.	Blind and low vision <ul style="list-style-type: none"> • Please provide current design standards 	Elaine Karen	
6.3.	Deaf and hard of hearing <ul style="list-style-type: none"> • Please provide current design standards 	Zoe Matthew	
6.4.	Example layouts Attached are layout from similar facilities around the country. Please note that these are of varying sizes and might be a bit ambitious for our needs, but they are a good starting point for our discussions. Please review and note any things that you like or do not like for our next meeting	All	
7.	Documentation		
7.1.	All comms through Rua please. 9(2)(a) @qsquared.nz 9(2)(a) and cc 9(2)(a) 9(2)(a) @education.govt.nz 9(2)(a)		
8.	Next meeting		
8.1.	Recurring Thursday fortnight 3 pm? Does this suit everyone? I think MS Teams will be best but when we start design proper we might meet in person. I will send out the invite and you can all respond about suitability.		

Minutes of Meeting

Contract	Salisbury Education Support Building
Principal	Ministry of Education
Location	Salisbury School, Richmond
Date	2 June 2022
Time	15:00
Meeting number	#2
Author	Rua Sargent
Present	Lance Florence, 9(2)(a) [REDACTED], Jody Nichols, Mary Pupich (MOE); Michael Harrison (RTLB); Matthew Koning, Zoe Taylor (Ko Taku Reo); Elaine Gilmour, Karen Stobbs (BLENZ)
Apologies	
Distribution	Cc to Riki Edmonds, Stewart Lawson, John Hewlett

Item	Description	Action	Date
1.	Whakamihi		
1.1.	Kia ora anō		
2.	Previous minutes accepted		
3.	Previous minutes actions		
3.1.	See below for any actions		
4.	Design requirements		
4.1.	There are three services using a building on the Salisbury School site: RTLB (Resource Teacher: Learning and Behaviour), Ko Taku Reo (Deaf Education New Zealand), and BLENZ (Blind and Low Vision Education network NZ) Salisbury School site is being redeveloped and the three services are to be relocated into a new building.		
4.2.	<p>We reviewed the plans for several existing sites and discussed what works well.</p> <p>Several themes came out of the discussion that will need to be considered in the design:</p> <ul style="list-style-type: none"> • Need to consider flexibility and possible growth for the future • Shared open office areas will probably work well, but there will be specific design requirements for deaf / hard of hearing and for blind / low vision users. This will affect layout, lighting, types of surfaces and the like. • Need to have a good space for workers to remove and recharge • The facility will not have a reception or receptionist. • There may be itinerant workers alone, and security measures will need to consider that. 		

	<ul style="list-style-type: none"> The building should support a positive work culture for all of the users. <p>All the users will have the ability to work through this when we go through the design stages.</p>		
5.	Solution		
5.1.	Jody has been in discussions with Network. They are working through entitlements for the project.		
5.2.	We all agreed it would be good to see some physical spaces. 9(2) is going to organise a visit to the Modular buildings in Whakatū Nelson and perhaps look at one of the hubs in Ōtautahi Christchurch.		
6.	More information		
6.1.	MOE <ul style="list-style-type: none"> Confirm entitlements Look at C3 resource allocation Provide projected roll numbers for the next few years so we don't outgrow the build 	Jody	
6.2.	Blind and low vision <ul style="list-style-type: none"> Please provide current design standards 	Elaine Karen	
6.3.	Deaf and hard of hearing <ul style="list-style-type: none"> Please provide current design standards 	Zoe Matthew	
7.	Documentation		
7.1.	All comms through Rua please. 9(2)(a) @qsquared.nz 9(2)(a) and cc 9(2)(a) 9(2)(a) @education.govt.nz 9(2)(a)		
8.	Next meeting		
8.1.	Friday 17/06/22 11 am Nelson Airport Hanger 2		



Minutes of Meeting

Contract	Salisbury Education Support Building
Principal	Ministry of Education
Location	Salisbury School, Richmond
Date	17/06/22, 30/06/22, 14/07/22, 22/07/22, 28/07/22, 3/08/22
Time	Various
Meeting number	#3 to #8
Author	Rua Sargent
Present 9variously)	9(2)(a) [redacted], Jody Nichols, Mary Pupich (MOE); Michael Harrison (RTLb); Matthew Koning, Zoe Taylor (Ko Taku Reo); Elaine Gilmour, Karen Stobbs (BLENZ)
Apologies	
Distribution	Cc to Riki Edmonds, John Hewlett

Item	Description	Action	Date
1.	Whakamihi		
1.1.	Over the past two months the project and meetings have been quite disrupted by Covid and other illnesses, and site meetings in Whakatū Nelson and Ōtautahi Christchurch that could not be attended by all our group. The project is still sitting with the MOE network team, so we are still not sure of the separate and collective entitlements for space and budget.		
2.	Previous minutes N/A		
3.	Previous minutes actions		
3.1.	See below for any actions		
4.	Design and site observations		
4.1.	<p>Modular factory visit 17/06/22</p> <p>We visited the factory where two buildings were under construction. The buildings were well appointed and looked good from the exterior. They were narrow and long in form, so the layout would need to be carefully considered. We discussed whether we could do two buildings that could be joined, but that didn't seem practical.</p> <p>There are acoustic ceilings and soft wall coverings throughout. We asked whether the windows could be relocated and amended, and the answer was yes.</p> <p>In summary the modular buildings were finished to a high standard. The modular buildings are able to be delivered in a shorter timeframe due to streamlined procurement.</p> <p>See photos attached.</p>		

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4.2.	<p>Arahina visit 22/07/22</p> <p>The team were very grateful to see a facility in action, and generally liked the facility.</p> <ul style="list-style-type: none"> • FTE working from building = 31 • Moved onto Arahina school site in 2017 • Since this time the type of cases and the way RTLB in this cluster work has changed significantly due in part to the cases becoming increasingly complex. Therefore, the practice has become much more collaborative, and the setup of the building needs to reflect and accommodate that. • Have two toilets but could do with another • In kitchen area would be useful to have oven for team days • Would have been good to be able access the kitchen without having to go through the main meeting/staff room • Consider space for recycling bins in kitchen • Storage for staff room tables would have been a good design feature so that they could be packed up when wanting to accommodate more people in that space. • Consider flat surfaces for resource preparation • Meeting rooms that can be booked out – but not too small <p>See attached notes from Jody, Zoe and Elaine.</p>		
4.3.	<p>Further observations</p> <ul style="list-style-type: none"> • Space needs to be versatile multipurpose • Need areas for storage of tables, chairs, etc for meetings • Must have excellent accessibility • Entrances and reception need to be considered • Large groups may attend – say for professional development days. 		
5.	Solution		
5.1.	<p>Jody has been in discussions with Network. They are working through entitlements for the project. This information will be shared when it is finalised.</p>		
5.2.	<p>Interim solution</p> <p>Jody informed that Parker House and Rec Room are scheduled for demolition this summer. Very disappointing obviously.</p> <p>There is alternate space available that has been recently renovated. MOE will assist with decanting and relocation costs.</p> <p>Matthew is worried about the safety of the Salisbury students and our support staff. Jody agrees and says this will be carefully managed.</p> <p>Some physical works may be required, such as IT, bathrooms, parking or staffroom.</p> <p>This is confidential please</p>		

	Jody, Rua and 9(2) to visit site and assess. We will then form a plan and feed back to the () group well before the next meeting.	Rua, 9(2) Jody	11/08/22
6.	More information		
6.1.	Blind and low vision <ul style="list-style-type: none"> Please provide current design standards 	Elaine Karen	
6.2.	Deaf and hard of hearing <ul style="list-style-type: none"> Please provide current design standards 	Zoe Matthew	
7.	Documentation		
7.1.	All comms through Rua please. 9(2)(a) @qsquared.nz 9(2)(a) and cc 9(2)(a) 9(2)(a) @education.govt.nz 9(2)(a)		
8.	Next meeting		
8.1.	Thursday 25/08/22, 3 pm MS Teams		

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Minutes of Meeting

Contract	Salisbury Education Support Building
Principal	Ministry of Education
Location	Salisbury School site
Date	02/02/2023
Time	3:00
Meeting number	2023 - 1
Author	Rua Sargent
Attendees	Lance Florence, MOE 9(2)(a) [REDACTED], MOE Jody Nichols, MOE Mary Pupich, MOE Lynn Evans, RTLB Zoe Taylor, Ko Taku Reo Elaine Gilmour, BLENNZ Karen Stobbs, BLENNZ Justin Fletcher, Redbox Bella Cramond, Space Creation Marine, Space Creation Stephen Fitzgerald, FCL Charlie Evans, FCL
Distribution	Cc to Stewart Lawson, MOE Daryn Johnson, FCL Matthew Conning, Ko Taku Reo John Hewlett, BLENNZ Ellie Salcin-Watts, Salisbury School

Item	Description	Who	When
1.	Mihi		
1.1.	Welcome to Lynn Evans who is RTLB manager in Te Tau Ihu, Top of the South Welcome also Marine from Space Creations		
2.	Previous minutes		
2.1.	Rua was very slack on minutes in 2022. Will do better this year!		
3.	Previous minutes actions		
3.1.	In terms of information and updates, everyone gave email approval last year of the concept floor plan		

4.	Compliance		
4.1.	Building consent and engineering <ul style="list-style-type: none"> • Building consent is issued for the foundations 		
4.2.	Resource consent <ul style="list-style-type: none"> • Outline Plan is approved 		
5.	Programme		
5.1.	Previous period <ul style="list-style-type: none"> • Fitzgerald Construction are contracted to deliver the buildings • Foundations are constructed and 2 relocatable buildings are on site • Floor plan approved by all parties 		
5.2.	Next period <ul style="list-style-type: none"> • Complete building consent documentation for full build • RTLB consult with design team • Prepare pricing for MOE approval 	Redbox Multiple FCL	10/02/23 8/02/23? 10/03/23?
6.	Documentation		
6.1.	RFI's <ul style="list-style-type: none"> • Lyn wants to make sure that there is capacity for the likely staff numbers. Also wants to make sure building is welcoming for some • Will meet with designers to have a run through the plans. 		
6.2.	Variations		
6.3.	Consultant or principal matters		
6.4.	QA		
7.	Project risks		
7.1.	Programme <ul style="list-style-type: none"> • Great to have Outline Plan approval and Building Consents underway. • The procurement model using FCL does mean a quicker process. • Funding not secured so that is a risk to the programme. 		
7.2.	Financial <ul style="list-style-type: none"> • Funding to be approved 		
7.3.	QA <ul style="list-style-type: none"> • Low risk with our very good designers and builders. 		
8.	Financial		
8.1.	This is a fixed budget!		
9.	General business		
9.1.	<ul style="list-style-type: none"> • Bella ran us through the current interior design presentation (attached) • Need to make contact with Rangitāne and seek iwi input 		

	<ul style="list-style-type: none"> • Rua emphasises that we need to deliver within normal MOE budget constraints, so the materials must be from standard products and ranges. • Zoe reinforces that patterns in textures are also a form of visual distraction. • Elaine wanted to pass on their gratefulness to iwi for the blessing of the site and was sorry they couldn't have a representative there. • Rua said sorry for late notice on the site blessing, but we will have a very full and wonderful blessing when the facility is complete. 		
10.	Next meeting		
10.1	Thursday 16 February 3.p.m		

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Minutes of Meeting

Contract	Salisbury Education Support Building
Principal	Ministry of Education
Location	Salisbury School site
Date	16/03/2023
Time	3:00
Meeting number	2023 - 4
Author	Rua Sargent
Attendees	Jody Nichols, MOE Mary Pupich, MOE Stewart Lawson, MOE Zoe Taylor, Ko Taku Reo Matthew Koning, Ko Taku Reo Elaine Gilmour, BLENNZ Justin Fletcher, Redbox Bella Cramond, Space Creation
Distribution	Cc to Lance Florence, MOE 9(2)(a) [redacted], MOE Lynn Evans, RTLB Daryn Johnson, FCL Karen Stobbs, BLENNZ John Hewlett, BLENNZ Marine [redacted] Space Creation Stephen Fitzgerald, FCL Charlie Evans, FCL Ellie Salcin-Watts, Salisbury School

Item	Description	Who	When
1.	Mihi		
1.1.			
2.	Previous minutes		
2.1.			
3.	Previous minutes actions		
3.1.			
4.	Compliance		

4.1.	<p>Building consent and engineering</p> <ul style="list-style-type: none"> A Hazard Notice is required for flooding. This is being worked through with MOE legal and correct channels with Rangitāne. Building Consent for full development expected 3/04/23 		
4.2.	<p>Resource consent</p> <ul style="list-style-type: none"> Outline Plan is approved 		
5.	Programme		
5.1.	<p>Previous period</p> <ul style="list-style-type: none"> Design being completed FCL are continuing with the building works under existing consent 		
5.2.	<p>Next period</p> <ul style="list-style-type: none"> Building consent processing Redbox will answer any council queries Prepare pricing for MOE approval Sort out electrical mains and data to site 	<p>TDC</p> <p>FCL</p> <p>FCL / Redbox</p>	<p>3/04/23?</p> <p>31/03/23</p>
6.	Documentation		
6.1.	<p>RFI's</p> <ul style="list-style-type: none"> 		
6.2.	Variations		
6.3.	<p>Consultant or principal matters</p> <ul style="list-style-type: none"> Really important to make sure the fire report considers all users and must have fire alarm systems and emergency lighting systems for all our users 	Redbox	
6.4.	QA		
7.	Project risks		
7.1.	<p>Programme</p> <ul style="list-style-type: none"> Hazard notice could take a bit to work through Funding not secured so that is a risk to the programme. 		
7.2.	<p>Financial</p> <ul style="list-style-type: none"> Funding to be approved FCL quote to be submitted 		
7.3.	QA		
8.	Financial		
8.1.			
9.	General business		
9.1.	<ul style="list-style-type: none"> Elaine wanted to especially acknowledge Bella for her excellent work in consulting through the design process. What is the FF&E budget?? FF&E is usually a bit short, so would pay to focus on the common areas Bella to prepare a furniture schedule for review 	<p>Jody</p> <p>Bella</p>	

	<ul style="list-style-type: none"> • Zoe says they have some existing furniture from the 'Astra' range. • FCL to get appliance pricing • Matthew asks if we might get some AoG bulk pricing. • 	FCL	
10.	Next meeting		
10.1	Thursday 30 March 3.p.m		

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MEETING MINUTES

Contract	Salisbury Education Support Hub
Principal	Ministry of Education
Client representative	9(2)(a) / Jonathan Stewart
Contractor	Fitzgerald Construction
Location	Salisbury Rd, Waimeha Richmond
Date	12 October 2023
Time	3 pm
Author	Rua Sargent
Present	Steph, Isaac, Zoe, Matthew, Elaine
Apologies	Jody
Distribution	Cc to Lyn, John, Karen, Ellie, Charlie Lance, Stewart

Item	Description	Action	Date
1.	Whakawhanaungatanga Welcomes		
2.	Actions from previous meetings		
2.1.			
3.	Client matters		
3.1.	Planning, issues, and comments <ul style="list-style-type: none"> • Interior design in the consent is not as approved with Bella [Updated set issued after meeting] • The fire alarm system is compliant with building code but does not meet user requirements. Zoe meeting with FCL and Rua 13/10/23. • Building management - who is going to be responsible for this? <ul style="list-style-type: none"> ○ Need to confirm IT supplier ○ Who is funding the maintenance and managing this? ○ Need to confirm card access system 	Rua Rua	
3.2.	Approvals required		
4.	Health and Safety		
4.1.	Incidents to report NIL		
4.2.	Planning		
5.	Programme		
5.1.	Previous period Civil 90 % complete Framing complete		

	Ply exterior 70 % Al Joinery on site		
5.2.	Next period Ply exterior Roofing Preline services Practical Completion 20 March 2023		
6.	Compliance		
6.1.	Building consent		
6.2.	Consultant matters		
6.3.	Resource consent		
7.	Documentation		
7.1.	RFI's		
7.2.	Variations		
7.3.	QA		
8.	Environmental		
8.1.	Compliance		
8.2.	Waste management		
8.3.	Initiatives		
9.	Project risks		
9.1.	Programme Tracking slightly behind programme		
9.2.	Financial Budget is tight and fire alarm system could impact that.		
9.3.	QA		
10.	Broader outcomes		
10.1.			
11.	Financial		
11.1.			
12.	General business		
12.1.			
13.	Next meeting		
13.1.			

Karakia whakakapi
 Kia whakairia te tapu
 Kia watea ai te ara
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Mauri ora,

Rua Sargent

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MEETING MINUTES

Contract	Salisbury Education Support Hub
Principal	Ministry of Education
Client representative	9(2)(a) / Jonathan Stewart
Contractor	Fitzgerald Construction
Location	Salisbury Rd, Waimeha Richmond
Date	27 October 2023
Time	11 am
Author	Rua Sargent
Present	John, Lyn, Elaine, Zoe, Stewart, Jody, Steph, Bella
Apologies	Matthew, Karen, Jonathan,
Distribution	Cc to Ellie, Isaac, Charlie, Justin

Item	Description	Action	Date
1.	Whakawhanaungatanga Welcomes		
2.	Actions from previous meetings		
2.1.	Fire alarm visual alerting design confirmed		
2.2.	Updated interior design issued		
3.	Client matters		
3.1.	Planning, issues, and comments <ul style="list-style-type: none"> Bella ran everyone through the updated interior design 		
3.2.	Stud height query [2.7 m confirmed post meeting]		
3.3.	Speckled vinyl in kitchen not suitable for low vision users. Updated sample required to Elaine	Bella	3/11/23
3.4.	Hanging screens amended. <ul style="list-style-type: none"> 4 corridor hanging screens (1.2 w x 2.7 h) Autex Cascade, Colour Gherkin. 2 in communal work area, 2 in RTLB: Pattern must have very small holes for minimised visual distraction. Bella to present pattern for approval. 1 solid screen between desks in BLENNZ and KTR: 3.0 w x 2.1 h; Colour Cube Falling Water 	Bella Bella	3/11/23 3/11/23
3.5.	Electrical as per provided layout. There is lots of power and data including umbilical cords from ceiling. Check colour	Rua	3/11/23
3.6.	Cork wall coverings deleted. <ul style="list-style-type: none"> Lobby to be painted plasterboard. Resource area wall to be Autex Cube Across Green. 		

3.7.	Glazing <ul style="list-style-type: none"> Prefer to have Lyn's office double glazed for privacy. Will look at manifestations later. 		
3.8.	Cabinetry <ul style="list-style-type: none"> We looked at all cabinetry plans and confirmed, noting: Banquette seating deleted. Bench top colour and gloss level confirmed OK. Space on top of overhead cabinets in kitchen to be filled with bulkhead or panel. Would like to add universal kitchen sink and bench to kitchen island. [On that note, should we add a universal workspace to the resource area?] Joinery shop drawings to be provided for approval. 	Rua	
3.9.	Toilet wall colours confirmed		
3.10.	Security <ul style="list-style-type: none"> Add doorbell to visual alerting. Add 2 x duress alarms to visual alerting, 1 in work area, 1 in public area. 	Rua Rua	3/11/23 3/11/23
3.11.	Ownership and management <ul style="list-style-type: none"> Building owned and maintained by Salisbury School. Electrical and data costs by MOE Cleaning by users 		
3.12.	FF&E budget <ul style="list-style-type: none"> FF&E budget will be paid to BLENNZ to arrange all furniture, appliances, and blinds. 	Jody	3/11/23
3.13.	Building name <ul style="list-style-type: none"> The users would like to have a meaningful name for the building and would like to discuss with Iwi. Elaine is going to use her relationships with Whakatū Marae to see if they have a view. Then Rua will discuss with Rangitāne 	Elaine Rua	3/11/23 10/11/23
4.	Health and Safety		
4.1.	Incidents to report		
4.2.	Planning		
5.	Programme		
5.1.	Previous period		
5.2.	Next period Practical Completion 20 March 2023		
6.	Compliance		
6.1.	Building consent		
6.2.	Consultant matters		
6.3.	Resource consent		
7.	Documentation		
7.1.	RFI's		

	<ul style="list-style-type: none"> [FCL have asked for fridge dimensions. There is no standard size] Largest common single fridge is 635 mm wide, – 600 mm is common. I have instructed to allow for 745 mm clearance which will allow for 635 mm wide fridge such as F&P 380 ltr. 		
7.2.	Variations		
7.3.	QA		
8.	Environmental		
8.1.	Compliance		
8.2.	Waste management		
8.3.	Initiatives		
9.	Project risks		
9.1.	Programme Tracking slightly behind programme		
9.2.	Financial Will get pricing for latest updates		
9.3.	QA		
10.	Broader outcomes		
10.1.			
11.	Financial		
11.1.			
12.	General business		
12.1.			
13.	Next meeting		
13.1.	Thursday 9/11/23 at 3:00 pm		

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MEETING MINUTES

Contract	Salisbury Education Support Hub
Principal	Ministry of Education
Client representative	9(2)(a) / Jonathan Stewart
Contractor	Fitzgerald Construction
Location	Salisbury Rd, Waimeha Richmond
Date	9 November 2023
Time	3 pm
Author	Rua Sargent
Present	Lyn, Elaine, Zoe, Jody,
Apologies	Matthew, Karen, Jonathan, John, Steph, Isaac,
Distribution	Cc to Ellie, Charlie, Justin, Stewart,

Item	Description	Action	Date
1.	Whakawhanaungatanga Welcomes		
2.	Actions from previous meetings		
2.1.	Fire alarm visual alerting design confirmed		
3.	Client matters		
3.1.	Planning, issues, and comments <ul style="list-style-type: none"> Bella ran everyone through the updated interior design 		
3.2.	Stud height query [2.7 m confirmed post meeting]		
3.3.	Speckled vinyl in kitchen not suitable for low vision users. Updated sample to Elaine has been dispatched and approved		
3.4.	Hanging screens are not included Elaine - work area screens between are important. Corridor ones more for distraction. Acoustic Solutions - Kelsten - These are really good. \$1300 each include in furniture package. Need to see the pictures. - Refer attached		
3.5.	Electrical as per provided layout. There is lots of power and data Umbilical not included		
3.6.	Glazing <ul style="list-style-type: none"> Double glazing to Lyn's office approved at RTLB cost - \$2,100 		
3.7.	Cabinetry <ul style="list-style-type: none"> Universal bench sink approved Budget can be allocated from joint FF&E budget if required. 		
3.8.	Security <ul style="list-style-type: none"> Visual alerting all instructed 		

3.9.	FF&E budget <ul style="list-style-type: none"> Elaine recommends a survey of existing and then order as required. John to arrange 		
3.10.	Accessible features - Redbox are preparing an accessibility report. Universal design Adult and children Braille Larger signs 4121 Tactile indicators Send to 9(2)(a) in parallel.		
4.	Health and Safety		
4.1.	Incidents to report		
4.2.	Planning		
5.	Programme		
5.1.	Previous period		
5.2.	Next period Practical Completion 20 March 2023		
6.	Compliance		
6.1.	Building consent		
6.2.	Consultant matters		
6.3.	Resource consent		
7.	Documentation		
7.1.	RFI's		
7.2.	Variations		
7.3.	QA		
8.	Environmental		
8.1.	Compliance		
8.2.	Waste management		
8.3.	Initiatives		
9.	Project risks		
9.1.	Programme Tracking slightly behind programme		
9.2.	Financial		
9.3.	QA		
10.	Broader outcomes		
10.1.			
11.	Financial		
11.1.			
12.	General business		
12.1.	Jody has approved invoice for FF&E FCL instruction to follow FF&E meeting Lyn to organise 28/11, 10:30?		

	Bella on hold whilst we sort out the list of requirements - refer attached spreadsheet Rua to provide desk dims - all 1500 x 700. Refer attached plan for layout and clearances.		
13.	Next meeting		
13.1.	Thursday 14/12/23 at 3:00 pm		

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MEETING MINUTES

Contract	Salisbury Education Support Hub
Principal	Ministry of Education
Client representative	9(2)(a) / Jonathan Stewart
Contractor	Fitzgerald Construction
Location	Salisbury Rd, Waimeha Richmond
Date	7 December 2023
Time	3 pm
Author	Rua Sargent
Present	Lyn, Elaine, Zoe, Jody, Karen, John, Steph, Isaac, Charlie,
Apologies	Matthew, Jonathan,
Distribution	Cc to Ellie, Justin, Stewart,

Item	Description	Action	Date
1.	Whakawhanaungatanga Welcomes		
2.	Actions from previous meetings		
2.1.	<p>*Accessibility Everyone has till the end of this week to respond with changes. Rua to instruct FCL</p> <p>*IT Appears that everything is OK.</p>	Rua	14/12/23
3.	Client matters		
3.1	# FFE – We went through and finalised the FFE schedule		
3.2	# Naming of building Matthew says no other naming conventions. Internal room naming		
3.3	# Cultural narrative – have discussed with Redbox and Rangitāne		
3.4	# Blessing will be by Rangitāne		
3.5	# Management Matthew – who will be responsible for cleaning, rubbish, etc. Trees and maintenance of grounds? This will all be formalised in the agreements with Salisbury School		
3.6	Fire alarm – is brigade connected.		
4.	Health and Safety		

4.1.	Incidents to report - NIL		
4.2.	Planning		
5.	Programme		
5.1.	Previous period Gib board Metal cladding		
5.2.	Next period Stopping and painting Cladding and soffits 15 January crossing – Sort with Ellie and St Pauls Practical Completion 20 March 2023	Rua	ASAP
6.	Compliance		
6.1.	Building consent		
6.2.	Consultant matters		
6.3.	Resource consent		
7.	Documentation		
7.1.	RFI's		
7.2.	Variations		
7.3.	QA		
8.	Environmental		
8.1.	Compliance		
8.2.	Waste management		
8.3.	Initiatives		
9.	Project risks		
9.1.	Programme Tracking slightly behind programme		
9.2.	Financial		
9.3.	QA		
10.	Broader outcomes		
10.1.			
11.	Financial		
11.1.			
12.	General business		
12.1.			
13	Next meeting		
13.1.	Thursday 14/12/23 at 3:00 pm		

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MEETING MINUTES

Contract	Salisbury Education Support Hub
Principal	Ministry of Education
Client representative	9(2)(a) / Jonathan Stewart
Contractor	Fitzgerald Construction
Location	Salisbury Rd, Waimeha Richmond
Date	14 December 2023
Time	3 pm
Author	Rua Sargent
Present	Will, Lyn, Elaine, Zoe, Jody, John, Steph, Sharman, Justin
Apologies	Matthew, Jonathan, Karen,
Distribution	Cc to Ellie, Stewart,


Item	Description	Action	Date
1.	Whakawhanaungatanga Welcomes		
	Nau mai ki a Sharman, he kalako mā RTL.B. Tēnā koe Ka nui ngā mihi ki tō tautoko, Will. E mihi ana mātou ki tō karakia. Tēnā koe		
2.	Project update		
	Lots of consultation to get the project going. Construction is well underway. Building all closed in and wall and ceiling linings installed. Exterior carpark formed and fencing up. Practical completion late March 2024. Will says that Rangitāne are taking a site wide approach and would like their input to be cohesive and collaborative across the site.		
3.	Building name		
3.1.	Rangitāne have been working with Maitai School in developing names for buildings highlighting te wai - water elements and natural resources in this region. Will says he would like any name to represent the users' aspirations and ideologies. He would like to work together on this.		
3.2.	Our group is to spend some thinking time over the holidays then regroup early next year.		
3.3.	Elaine says we should think about our kaimahi and include them in any process for the building that they will be working in with our tamariki and rangatahi.		
3.4.	All kaimahi to be invited for a tour when school starts and have a wananga on this topic.		

4.	Cultural narrative		
4.1.	Using the site wide approach, Rangitāne have engaged 9(2)(a) to design a waharoa (entrance gate) to acknowledge the connections to the site. This will be placed just inside the existing entrance gates to Salisbury School.		
4.2.	Rangitāne have provided pūrākau (stories) to Justin who has provided some concept visuals		
4.3.	We do need to consider the visual noise for deaf and hard of hearing users.		
4.4.	Most likely look at installing some graphic elements in the lobby and on the front of the building, but Justin wants to go and have a look and make sure that still feels right.		
4.5.	Will to send some graphics and images to Justin who will develop a story board for the entrance.		
5.	Blessing		
5.1.	Mauri stone was laid by Rangitāne.		
5.2.	We invited Rangitāne to open and bless this new facility for us. Will sort a date out early next year - maybe around Easter time.		
6.	General business		
6.1.	Meri Kirihimeti, Merry Christmas		
7.	Next meeting		
7.1.	2024!		

Mauri ora,

Rua Sargent

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MEETING MINUTES


Contract	Salisbury Education Support Hub
Principal	Ministry of Education
Client representative	9(2)(a) / Jonathan Stewart
Contractor	Fitzgerald Construction
Location	Salisbury Rd, Waimeha Richmond
Date	8/02/2024
Time	3 pm
Author	Rua Sargent
Present	Lyn, Elaine, Jody, Steph, Matthew, Sue, Jess
Apologies	Will, Jonathan, Karen, Zoe, John, Justin Isaac
Distribution	Cc to Ellie, Stewart

Item	Description	Action	Date
1.	Whakawhanaungatanga Welcomes		
	Kia ora Jess and Sue		
2.	Project update		
	Building works going really well - on programme. Building exterior construction complete, scaffold removed, painting to finish. Interior lined and paint progressing. Joinery fitted Fit off commences next week. Exterior decks commencing. Paving set for mid March Practical Completion late March. No known issues or risk to programme.		
3.	Building name		
	Will couldn't make it today for Rangitāne due to a late urgent huL We decided to send him background information from each of our ropu (groups)	Rua	9/02/24
4.	Outstanding issues		
4.1.	Blinds (FFE) Lyn is going to get quotes from several suppliers. Double roller blinds for every window. Get quotes from plans and confirm with site measure. Colours can be confirmed with quote acceptance. Recommend due date two weeks. [Local suppliers are Guthrie Bowron, Hubbers and McCrae's] Rua to send plans through for pricing.	Lyn Rua	 09/02/24

	Rua can apportion costs to FFE upon receipt of quotes.		
4.2.	Furniture Elaine has three quotes coming in possibly tomorrow. Will send out when they are collated.	Elaine	
4.3.	Additional accessibility requirements. Current design meets building code, but after consultation the following items are to be addressed: <ul style="list-style-type: none"> • Door stops to be relocated to reduce trip hazard. • Contrasting vinyl strip to be fixed around stainless steel door hardware on aluminium doors. • Non slip contrasting strips to be installed at base and top of ramp. • Dome buttons to be added to ends of all handrails. • Handrails are to be left stainless steel, not contrasting colour. Users will notify any issue with this within the 3 month defects period. • Veranda posts to be painted Resene Kakaramea (reddish brown) for contrast. Rua to issue instruction to FCL	Rua	09/02/24
4.4.	IT services MOE will provide cable network and data cabinet. Users are responsible for all other IT. Traditionally BLENNZ and KTR use Fastcom. Elaine to send contact details to Lyn so RTLB can engage them too.	Elaine	
4.5.	POD's and Building Management There is still a bit of uncertainty as to the best way to run the management of the building on the Salisbury site. The POD's should define this but they are currently in draft form. Decided the best thing to do would be to have a meeting with Ellie to navigate this and come up with the best solution for all parties. Matters to consider include: <ul style="list-style-type: none"> • Grounds maintenance. • Building maintenance. • Rubbish and recycling. • Security monitoring. • Cleaning. Would be good to get sorted soon. Jody to set up a meeting with all parties.	Jody	
4.6.	Payment for additional requirements Discussed users' requirements over and above MOE scope. These currently sit within the FCL contract. Possibly easiest for MOE to invoice the groups for these costs rather than have FCL invoice separately. Steph to follow up with finance	Steph	

4.7.	Miscellaneous <ul style="list-style-type: none"> Exterior lighting is provided to four sides of the building on daylight switch with time clock There is no CCTV included, but there is wiring for future cameras on front of building. See attached electrical and IT quote. (note additional visual alerting was added after this quote) 		
5.	Blessing		
	Provisional date for blessing pending Rangitāne approval: Monday 29 April 2024.	Rua check	09/02/24
6.	General business		
7.	Next meeting		
	3 pm Thursday 29 February		

Mauri ora,

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MEETING MINUTES

Contract	Salisbury Education Support Hub
Principal	Ministry of Education
Client representative	9(2)(a) / Jonathan Stewart
Contractor	Fitzgerald Construction
Location	Salisbury Rd, Waimeha Richmond
Date	09/05/2024
Time	3 pm
Author	Rua Sargent
Present	Elaine, Jody, Steph, Zoe, Fiona, Karen
Apologies	Jonathan, John, Lyn
Distribution	Cc to Ellie, Stewart, Pip

Item	Description	Action	Date
1.	Whakawhanaungatanga Welcomes Ka aroha Lyn, you are in our thoughts.		
2.	Project update		
2.1.	Practical Completion achieved. Certificate for Public Use in place. Blessing carried out. Staff now working from the building.		
2.2.	Handover documents Rua to send through.	Rua	14/05/24
3.	Cultural narrative		
3.1.	Rangitāne gifted the new name which has been accepted and used in the blessing. Ahuru Mōwai <i>Safe haven, place of shelter</i>		
3.2.	A sample has been provided for the text to go in the lobby - Rua to get a photo and send to Will.		
3.3.	Building and information signage - will need to consider and install when the dust has settled a bit.		

4.	Outstanding building issues		
4.1.	Doors <ul style="list-style-type: none"> Locks to external doors need a thumb lock on the inside as you can't check if the door is locked without opening it and going outside to close it. Doors do not close properly and need to be adjusted - exterior doors and kitchen. 	Rua to issue CI to FCL Rua to notify FCL	14/05/24
4.2.	Heating <ul style="list-style-type: none"> RTL B heating system being repaired at the moment. 		
4.3.	Power and data <ul style="list-style-type: none"> Ceiling power not in correct location for desk layout. Power and data has been installed to layout approved in interior design meetings with users. (See attached plan) <i>if relocation is required this should be organised outside of the building contract.</i> Umbilicals for ceiling power and data have not been provided. Upon investigation these are an FFE item and should be provided with cabling with the IT install. Resource bench has no power. Not sure if this is required. No power shown on agreed power plan. Contact Aotea Electrical 9(2)(a) 		
4.4.	Kitchen noise <ul style="list-style-type: none"> Staff room activities are spilling into the work area. The door doesn't close properly so that might help. If additional separation is required, could install Autex along the staffroom wall that backs on to work area. Contact Flooring Xtra 9(2)(a) 		
4.5.	TV's <ul style="list-style-type: none"> Some TV's are on separate networks and need to be interconnected. One TV to be placed on a trolley 		
4.6.	Defects process <ul style="list-style-type: none"> Need to have a good process for defecting. Rua to send through. 	Rua	14/05/24
4.7.	Learnings <ul style="list-style-type: none"> Toilet signage for unisex is not appropriate Kitchen shelves are too high 		
5.	Operations		
5.1.	POD's These are almost complete and signed. With Ellie at the moment.		

5.2.	Building Warrant of Fitness Steph has notified Argest who will institute a BWOF scheme. 9(2)(a)		
5.3.	Miscellaneous <ul style="list-style-type: none"> • Rubbish - John is sorting • Cleaning - Crest engaged • Evac scheme - with Ellie • Alarm monitoring and call out - Elaine is working through • Lawns and gardens - Not sure... 		
6.	Finances		
	Capex <ul style="list-style-type: none"> • Elaine has been administering the project FFE budget on behalf of the users. The FFE allocation has been expended so there will be additional costs due to be paid to BLENNZ. • Currently furniture, IT, building costs, appliances, TV's etc. • Don't quite have all costs collated to inform everyone. 		
	Operational costs <ul style="list-style-type: none"> • There will be ongoing costs for rubbish, sanitary, alarm monitoring, MoE costs, etc. • Don't have these all collated yet either. 		
7.	General business		
	<p>It is very rewarding for me to see these important services acknowledged in this new whare - Ahuru Mōwai</p> <p>He iti te mokoroa, nāna i kati te kahikatea</p> <p>The mokoroa (grub) may be small, but it cuts through the Kahikatea.</p> <p>This whakatauki reflects that small things can have a great impact. Although numbers or resources may be small, like the mokoroa, it is possible to achieve great tasks/achievements.</p> <p>I want to acknowledge everyone who has inputted to the success of this project, and for the perseverance that has led to this fitting outcome that will benefit our community for years to come.</p>		
8.	Next meeting		
	As required		

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