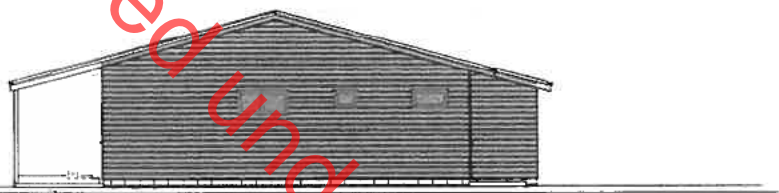


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WEST ELEVATION

WEST ELEVATION  
TOTAL FACADE AREA ASSESSED @ 1 M : 44 SQM  
MAXIMUM ALLOWED UNPROTECTED AREA (20%): 9 SQM  
MAXIMUM ALLOWED SINGLE UNPROTECTED AREA: 1 SQM  
MINIMUM DISTANCE BETWEEN UNPROTECTED AREA: 0.5 M  
TOTAL UNPROTECTED AREA: 1.7 SQM



Two layers of 19 mm GIB Fyrelite 'GBUW 120' lined on the inside  
Unprotected Openings (i.e. windows restricted to no greater than 1 sqm)  
One layer of 13 mm GIB Fyrelite 'GBTL 60' lined on both sides



EAST ELEVATION



SOUTH ELEVATION



FIRE DRAWING  
BLAKETOWN SCHOOL HALL PROJECT  
BLAKE STREET, BLAKETOWN  
GREYMOUTH

TMCO.CONZ CONSULTING ENGINEERS			
Engineer	Check	Date	Scale
Kevin Suen	Kevin Suen	20-10-14	1:100
Kevin Suen	Kevin Suen	20-10-14	1:100
F3	140695	A	1:100

APPENDIX B

Draft Compliance Schedule

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DRAFT COMPLIANCE SCHEDULE

The following specified systems are present within the building.	Description	Installation Performance Standard	Maintenance	Inspection and reporting frequency
2.0 Manual emergency warning systems for fire or other dangers	Non-brigade connected Type 2 manual fire alarm system with supplementary smoke detection	NZS 4512:2010	NZS 4512:2010.	NZS 4512:2010 Monthly and Annual Inspections Completed by an IQP.
14.2 Signs	Signage associated with the manual fire alarm system.	Install in accordance with F8/AS1 and any other appropriate performance standard.  i.e. how to use a manual call point.	Replace/repair as necessary to ensure compliance with F8/AS1 is maintained.	Monthly Inspection Carried out by the building owner or their representative.  Signs should be inspected to ensure they are: <ul style="list-style-type: none"> <li>• correct type</li> <li>• present and in the right locations</li> <li>• legible</li> </ul> Annual Inspection Completed by an IQP. As per the above.
15.2 Final exit	Exit Doors	Best practise	Responsive maintenance should be carried out to ensure occupants are not prevented from leaving the building in the event of an emergency.  In particular, the final exits should	Daily & Monthly inspections Carried out by the building owner or their representative.  Final exits should be inspected to ensure they can be opened and are not:

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		be maintained to ensure they are: <ul style="list-style-type: none"><li>• clearly identified</li><li>• free of obstructions</li><li>• unlocked</li><li>• easily-used</li></ul>	<ul style="list-style-type: none"><li>• locked</li><li>• barred</li><li>• blocked</li></ul> And that door-locking devices: <ul style="list-style-type: none"><li>• are clearly visible</li><li>• are easily operated without a key or other security device</li></ul> <b>Annual Inspection</b> Completed by an IQP. As per the above.
15.4 Signs for communicating information intended to facilitate evacuation	Ecoglo Exit Signs and way-finding products	Ecoglo installation and maintenance guide	As per Ecoglo installation and maintenance guide

19<sup>th</sup> November 2014

Mr Craig Mooney  
AJ Mooney & Co. Ltd  
12 Nelson Street  
Greymouth 7805

GREY  
DISTRICT COUNCIL  
-3 DEC 2014

Dear Craig

**Building Consent application 993773 – new Blaketown School Hall, 90 – 98 Blake Street, Greymouth – application for modification to the New Zealand Building Code**

We acknowledge receipt on 17<sup>th</sup> November 2014 of your Building Consent application for the construction of a new school hall at Blaketown School, 90 – 98 Blake Street, Blaketown, Greymouth.

The aforementioned Building Consent also included an application for a modification to the New Zealand Building Code (Clause 3.4 (a)).

The application for a modification to NZBC Clause 3.4 (a) was supported by additional information that we received on 18<sup>th</sup> November 2014.

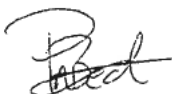
Grey District Council (GDC) [which is a Territorial Authority that performs the functions of the Building Consent Authority for the Grey District], has considered your application for a modification to NZBC Clause 3.4 (a) in accordance with Section 67 (1) of the Building Act 2004.

Based on the information presented to Council on 17<sup>th</sup> and 18<sup>th</sup> November 2014, we are not in a position to grant your application for a modification to the NZBC Clause 3.4 (a).

Until the aforementioned matter is resolved the Building Consent application has been placed 'on hold' in accordance with Section 48 (2) of the Building Act 2004.

You are welcome to contact this office to liaise with me directly should you have any queries relating to this issue, or to make an appointment for a more formal meeting if you wish to discuss any aspects of the points raised above in person.

Yours sincerely



Phil Beck MBE  
Building Control Team Leader

Distribution:  
Mr Steven May, Environmental Services Manager, Grey District Council, 105 Tainui Street, PO Box 382, Greymouth 7840  
Mr Bevan Clark, School Principal, Blaketown School Board of Trustees, Blaketown School, 90-98 Blake Street, Blaketown, Greymouth 7805





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Project No: 99373

Date Received: 17-11-14

**Application for Project Information Memorandum and/or Building Consent**

Section 33 of Section 45, Building Act 2004

(Only complete items that are applicable to your project)

**THE BUILDING**

Street address of building (or Rapid No if applicable): <i>[for structures that do not have a street address, state the nearest street intersection and the distance and direction from that intersection]</i> Blaketown School 90 Blake Street Blaketown		Building Name (if applicable): Blaketown School	
Location of building within site/block number (include nearest street address): As per site plan			
Legal Description of land where building is located: Lot: 2 DP 3984		Valuation Roll Number: 25640/227.00	
Number of Levels (include ground level & any levels below ground): 1	Level/Unit No: 1	Total Floor Area: (all floors included) Existing: m <sup>2</sup> Add: 210.9 m <sup>2</sup>	
Current lawfully established use (include number of occupants per level and per use if more than 1): School Assembly Service		Year first constructed:	

**THE OWNER**

Owner's Name (include preferred form of address e.g. Mr, Miss, Dr, if an individual): Blaketown School Board of Trustees via Ministry of Education		Contact Person: (if owner is not an individual) Bever Clark School Principal	
Mailing/Billing Address: 90-98 Blake Street, Blaketown, Greymouth.			
Street Address/Registered Office: <i>vis above</i>		Post Code: 7805	
E-mail Address: <i>s 9(2)(a)</i>		Phone Day: 7689096	
Phone A'Hours: 7689096	Fax:	Mobile: <i>s 9(2)(a)</i>	
Website: <del>blaketown</del> @ WWW.Blaketown.School.NZ.			

**THE AGENT**

Agent's Name (only required if application is being made on behalf of the owner): AJ Mooney + Co Ltd		Contact Person: (if Agent is not an individual) Craig Mooney	
Mailing/Billing Address: 12 Nelson Street Greymouth			
Street Address/Registered Office:		Post Code: 7805	
E-mail Address: <i>s 9(2)(a)</i>		Phone Day: 768 5728	
Phone A'Hours: <i>s 9(2)(a)</i>	Fax: 768 7529	Cellphone: <i>s 9(2)(a)</i>	
Website:			

Relationship to Owner: [state details of the authorization from the owner to make the application on the owner's behalf]  
Agent

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PAID

GREY DISTRICT COUNCIL  
17 NOV 2014



**FIRST POINT OF CONTACT FOR COMMUNICATIONS WITH THE COUNCIL / BUILDING CONSENT AUTHORITY**

Full name: Craig Mooney  
 Mailing address: 12 Nelson Street Greymouth 7805  
 Phone number(s): 03 768 5728 wk s 9(2)(a)  
 Facsimile number(s): 03 768 7529  
 Email address(es): s 9(2)(a)

**APPLICATION**

I request that you issue a:   
 (please tick one)

<input type="checkbox"/>	Project Information Memorandum only (PIM)
<input type="checkbox"/>	Building Consent only
<input checked="" type="checkbox"/>	Building Consent (including Project Information Memorandum)
<input type="checkbox"/>	National Multiple-Use Consent Application

Signature of owner / agent on behalf of and with the authority of the owner: Craig Mooney

Date: 14/11/2014

**THE PROJECT**

Description of building work: To build a school hall including a shower & toilets  
 (eg dwelling, commercial, farm shed, garage etc)

Will the building work result in a change of use of the building?  Yes  No  
 (Refer to Building (Specified Systems, Change of Use, and Earthquake-prone Buildings) Regulations 2005 if in doubt)

If "Yes", provide details of the new intended use:  
 Intended life of the building if less than 50 years: \_\_\_\_\_ years

List Building Consents previously issued for this project or building (if any): (ie is this project being constructed in stages? Is this consent for a relocated or transportable building?)

Estimated Value of the building work on which the building levy will be calculated  
 (including goods and services tax) [State estimated value as defined in Section 7 of the Building Act 2004]: \$ 458,000.00

**RESTRICTED BUILDING WORK**

Will the building work include any restricted building work?  YES  NO

If YES, provide the following details of ALL the Licensed Building Practitioners who carried out or supervised the design elements of the restricted building work AND those who will be involved in carrying out or supervising the restricted building work [if these details are unknown at the time of the application, they must be supplied before the building work begins]:

Name	Licensing class	Licensing building practitioner number (or registration number if treated as being licensed under Section 291 of the Building Act 2004)
<u>Phil Wilkins</u>	<u>Carpentry</u>	<u>BB 110611</u>
<u>Jeff Evans</u>	<u>Plumbing/Drainlaying</u>	<u>12689</u>

Note: Continue on another page if necessary

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**PROJECT INFORMATION MEMORANDUM**

Project information memorandum (PIM) [Only complete this section if the application is for a PIM only, or Building Consent including a PIM]

The following matters are involved in the project

- ( ) Subdivision
- ( ) Alterations to land contours
- ( ) New or altered connections to public utilities
- ( ) New or altered locations and/or external dimensions of buildings
- ( ) New or altered access for vehicles
- ( ) Building work over or adjacent to any road or public space
- ( ) Disposal of stormwater and wastewater
- ( ) Building work over any existing drains or sewers or in close proximity to wells or water mains
- ( ) Other matters known to the applicant that may require authorisations from the territorial authority: [specify]

Applicant Supplied	Not applicable	Council Received

**REQUIRED ATTACHMENTS**

The following evidence of ownership attached to this application:  Certificate of Title  Lease  Agreement of sale & purchase  other document showing full name of legal owner(s) of the building

Complete and attach **ONE** of the following checklists, and provide **ALL** of the information requested on that checklist:

- Form BAM 002-R Residential  Form BAM 002-I Commercial/Industrial  Form BAM002-H Heater

Application Fee (Deposit): \$ 2891.58 (this will be determined when the application is lodged)

**KEY PERSONNEL**

Name of Builder:	Phil Wilkins	Registration Number:	
Mailing Address:	4 Tasman View Road Greyouth 7805		BP110611
E-mail Address:	pmwilkins@extra.co.nz	Phone Day:	027 222 4507
Name of Craftsman Plumber:	Jeff Evans Plumbers	Registration Number:	
Mailing Address:	62 Tanager Street Hokitika		12689
E-mail Address:	jeff@evansplumbing.co.nz	Phone Day:	0800533338
Name of Registered Drainlayer:	Jeff Evans Plumbers	Registration Number:	
Mailing Address:	62 Tanager Street Hokitika		12689
E-mail Address:	jeff@evansplumbing.co.nz	Phone Day:	0800533338
Name of Craftsman Gasfitter:		Registration Number:	
Mailing Address:	N/A		
E-mail Address:		Phone Day:	
Name of Designer:	Darin Fenwick	Registration Number:	
Mailing Address:	16 Grand Vue Road Rotorua		BP101055
E-mail Address:	darin@ihug.co.nz	Phone Day:	073436757
Name of Engineer:	Tony Kennedy	Registration Number:	
Mailing Address:	PO Box 23 Rotorua		192454
E-mail Address:	[Redacted] s 9(2)(a)	Phone Day:	07348 5394

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**New Zealand Building Code Clause A1 – Classified Uses**

**1.0 Explanation**

- 1.0.1 For the purposes of the New Zealand Building Code, *buildings* are classified according to type, under seven categories.
- 1.0.2 A *building* with a given classified use may have one or more intended uses as defined in the Building Act.

The classified use(s) relating to a Building Consent Application must be stated in the space provided on form BAM 002 next to Currently

lawfully established use: Write into the space provided on form BAM 002 one or more of the classified uses highlighted in grey below (there is NO requirement to write the reference number, ONLY the title e.g. Detached Dwelling).

<b>Classified Use:</b>	<b>Applications:</b>	<b>Examples:</b>
<b>2.0 Housing</b>	2.0.1 Applies to <i>buildings</i> or use where there is self care and service (internal management). <u>There are three types:</u> Applies to <i>buildings</i> or use where a group of people live as a single household or family	A holiday cottage, boarding house accommodating fewer than 6 people, dwelling, or hut. An attached dwelling, flat or multi-unit apartment.
<b>2.0.2 Detached dwellings</b>	Applies to a <i>building</i> or use which contains more than one separate household or family	
<b>2.0.3 Multi-unit Dwelling</b>	Applies to a <i>building</i> or use where groups of people live as one large extended family	Within a commune or marae.
<b>2.0.4 Group Dwelling</b>	3.0.1 Applies to <i>buildings</i> or use where assistance or care is extended to the <i>principal users</i> . <u>There are two types:</u> Applies to a residential <i>building</i> or use where limited assistance or care is extended to the <i>principal users</i> .	A boarding house, hall of residence, holiday cabin, [ <i>backcountry hut</i> ], hostel, hotel, motel, nurses' home, retirement village, time-share accommodation, a work camp, or camping ground.
<b>3.0 Communal Residential</b>	Applies to a residential <i>building</i> or use where a large degree of assistance or care is extended to the <i>principal users</i> . <u>There are two types:</u> Where the <i>principal users</i> are free to come and go Where the <i>principal users</i> are legally or physically constrained in their movements	A hospital, an old people's home, or a health camp. A borstal or drug rehabilitation centre, an old people's home where substantial care is extended, a prison or hospital.
<b>3.0.2 Community Service</b>	4.0.1 Applies to a <i>building</i> or use being a meeting place for people where care and service is provided by people other than the <i>principal users</i> . <u>There are two types:</u>	
<b>3.0.3 Community Care</b>		
<b>(a) Unrestrained</b>		
<b>(b) Restrained</b>		
<b>4.0 Communal Non-Residential</b>		

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Project No:	993773
Date Received:	17-11-11

**Commercial or Industrial PIM/Building Consent  
Application Checklist**  
(in conjunction with form BAM 002)

The following documentation is required to be submitted in sufficient detail to show compliance with all aspects of the District Plan and the New Zealand Building Code. Please complete this checklist in FULL by ticking the appropriate box to indicate that the required item of information has been supplied or is not applicable to the project. Upon receipt, your application will be checked for completeness. This list is not intended to be exhaustive and additional information may be requested during processing of the application.

PIM		Supplied	N/A	Council
1	Application form COMPLETED and signed including Building Code Assessment and Specified System details.	✓		✓
2	Application fee \$7891-58 GST Inclusive (Accepted Methods of Payment: CASH - EFTPOS - CHEQUE)	✓		✓
3	Evidence of ownership: For building work outside the existing building envelope provide a recent search copy of the Certificate of Title less than 6 months old, plus a sale and purchase agreement if not in the applicant's name. A subdivision scheme plan is required for a new site where Title is not yet available.	✓		✓
4	Site Plan: Include all proposed and existing buildings, swimming pools, legal boundaries, building setbacks, site areas, vehicle access, significant trees, hard standing areas, retaining walls, spot levels or contours, intentions for the disposal of stormwater and sewer and the storage location and capacity of any Hazardous Substances (ie LPG, diesel etc).	✓		✓
5	Outline Floor plans (for all floors)	✓		✓
6	Outline Elevations	✓		✓
7	Outline Cross Sections - to show recession plane/daylight plane and height compliance	✓		✓
8	Hazardous Substances - storage location and capacity (ie, LPG, diesel, home heating oil etc)		✓	
9	Health Licensing - surface finishes, sinks, dishwashers, food storage		✓	
10	Liquor Licensing - wash basins, sinks, glass washing machine		✓	

Evacuation Scheme Assessment (required for PIM):	Building Sprinkled?		Council Use	
	Yes	No	Yes	No
Can 100 or more people gather for different purposes or activities?	✓			✓
Are there facilities for more than 10 employees?		✓		
Is accommodation provided for more than 5 people?		✓		
Are hazardous substances stored?		✓		
Are early childhood facilities provided?		✓		
Is specialised care for people with disabilities provided?		✓		
Is specialised nursing, medical, or geriatric care provided?		✓		
Are people in lawful detention?		✓		
Can 100 or more people gather in a common venue?	✓			
<b>Council Use Only - Evacuation Scheme required?</b>				

Fire Service Assessment:	Yes	No	Council Use
Is this a fitout of an existing building?		✓	Minor alts?
Is a change of use involved?		✓	
Are alternative solutions, or any application for a modification or waiver to the Building Code for means of escape from fire and fire fighting used (Clauses C1-C6, D1, F6, F7, F8)	✓		
<b>Council Use Only - Send copy to Fire Service?</b>			

----- STOP HERE IF THIS IS A PIM ONLY APPLICATION -----

Continue next page for PIM and Building Consent application

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**BUILDING CONSENT (in addition to the above)**

Supplied  
N/A  
Council

11	Project Information Memorandum (if already issued) plus all attached forms	✓	✓	✓
12	Foundation Plans (timber or concrete slab) including all details	✓		✓
13	Drainage Plans - full design details including both Sewer and Stormwater and any disposal methods	✓		✓
14	West Coast Regional Council approval for effluent disposal		✓	
15	Detailed Floor Plans - fully dimensioned and notated, including location of Smoke Alarms	✓		✓
16	Detailed Elevations - including door and windows showing opening sashes	✓		✓
17	Cross Sections - to show all relevant construction, especially through difficult areas of the building and changes in building form	✓		✓
18	Timber Treatment - the species, grading and treatment of all timber specific to the project is to be specified on the drawings, ideally on the cross section	✓		✓
19	Insulation - R-values on drawings, method of compliance identified (Schedule / Calculation / Modelling)	✓		✓
20	Framing Details - including floor joist layout plans if applicable	✓		✓
21	Construction Details - with all materials, fixings etc noted	✓		✓
22	Weather-tightness Details - including a risk assessment matrix for all walls and all flashings	✓		✓
23	Internal Waterproofing Details - including all wet areas and surface finishes	✓		✓
24	Plumbing Details - including layout plan / schematic and water supply details	✓		✓
25	Specifications - relevant to the project	✓		✓
26	Bracing Design - calculations, schedule and layout plans	✓		✓
27	Roof Truss Design - including layout plan, fixings and specific design for lintels where required	✓		✓
28	Ground Conditions report - this will be either a report to show why it is assumed that the ground is "good ground" using Section 3 of NZS 3604, or a specific ground assessment and foundation design by a suitably qualified and experienced engineer	✓		✓
29	<b>National Environmental Standards (NES) for assessing &amp; managing contaminants in soil to protect human health:</b> The NES applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is, has been, or is more likely than not to have been undertaken. The most up-to-date version of the HAIL, and other useful information about applying the NES, can be found at the Ministry for the Environment's website <a href="http://www.mfe.govt.nz">www.mfe.govt.nz</a> Does the NES apply to this piece of land? <b>YES / NO</b> If YES, a detailed site investigation carried out by a suitably qualified and experienced practitioner will be required in order to assess the effects of the proposal in relation to the NES. Check HAIL list / WCRC database / Property records		✓	
30	Design Features Report - for the structure	✓		✓
31	Engineers Details and Producer Statement - where any specific design has been carried out (e.g. steel beams)	✓		✓
32	Sediment Control Management Plan (if required by site location)		✓	
33	Access and Facilities for people with disabilities - for a new building all details of compliance are required, for an existing building a report is required to determine what can be reasonably upgraded to comply	✓		✓
34	Fire Report (2 copies) - a fire design statement is required to show compliance with the "C" clauses of the Building Code, and the drawings must reflect the detail in the report	✓		✓
35	Overhead electrical power lines - Under the Electrical (Safety) Regulations it's an offence to erect any building or structure within prescribed distances of an overhead electric line. Contact the local power authority to enquire about these restrictions and confirm the building design allows for these as necessary.		✓	
36	Quality of Documentation: Ensure that the quality of the documentation meets the requirements outlined in the application coversheet.	✓		✓
37	Specified System details: For each specified system, attach a completed GDC 024 form and all relevant attachments.	✓		✓

**ADDITIONAL NOTES**

**COUNCIL USE ONLY**

Application vet by: <u>Dana</u>	Date: <u>17-11-14</u>
Outcome: <input checked="" type="checkbox"/> Accepted <input type="checkbox"/> Rejected	Reason for outcome: <input checked="" type="checkbox"/> All information provided <input type="checkbox"/> Only 1 item of information missing <input type="checkbox"/> More than 1 item of information missing <input type="checkbox"/> Poor quality of documentation
Building Category: <input type="checkbox"/> Res 1 <input type="checkbox"/> Res 2 <input type="checkbox"/> Res 3 <input type="checkbox"/> Com 1 <input checked="" type="checkbox"/> Com 2 <input type="checkbox"/> Com 3	

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## BUILDING CODE ASSESSMENT

### Building Code Clause

Tick each clause relevant to the proposed building work

### Means of Compliance

For each relevant clause, identify which means of compliance has been used. This list is only the most common solutions, there are other options available. Multiple means of compliance may be used in each project.

<input checked="" type="checkbox"/> B1 Structure	<input type="checkbox"/> B1/AS1: NZS 4229 Masonry <input type="checkbox"/> B1/AS1: NZS 3604 Timber <input type="checkbox"/> B1/AS1: NZS 4299 Earth <input type="checkbox"/> B1/AS1: NZS 4251 Stucco <input type="checkbox"/> B1/AS1: NZS 4452 Drains <input type="checkbox"/> B1/AS1: NZS 4452 Glazing <input type="checkbox"/> B1/AS2: Timber Barriers <input type="checkbox"/> B1/AS3: Small Chimneys <input checked="" type="checkbox"/> B1/VM1: AS/NZS 1170 <input type="checkbox"/> Other : Engineer Design <input type="checkbox"/> Waiver or Modification	<input type="checkbox"/> Other :
<input checked="" type="checkbox"/> B2 Durability	<input checked="" type="checkbox"/> B2/AS1 <input type="checkbox"/> Waiver or Modification	<input type="checkbox"/> Other :
<input checked="" type="checkbox"/> C1 - C6 Fire	<input type="checkbox"/> C/AS2 <input type="checkbox"/> C/AS3 <input checked="" type="checkbox"/> C/AS4 <input type="checkbox"/> C/AS5 <input type="checkbox"/> C/AS6 <input type="checkbox"/> C/AS7 <input type="checkbox"/> Engineer Design [C/VM2] + Peer review	<input type="checkbox"/> Other : <input checked="" type="checkbox"/> Waiver or modification: Refer to attached document.
<input checked="" type="checkbox"/> D1 Access Routes	<input checked="" type="checkbox"/> D1/AS1 <input type="checkbox"/> NZS 4121 <input type="checkbox"/> Waiver or Modification	<input type="checkbox"/> Other :
<input type="checkbox"/> D2 Mechanical installations for access	<input type="checkbox"/> D2/AS1: NZS 4332 Passenger Carrying Lifts <input type="checkbox"/> D2/AS1: EN 81 Passenger Carrying Lifts <input type="checkbox"/> D2/AS2: Domestic & Service Lifts <input type="checkbox"/> D2/AS3: EN 115 Escalators & Moving Walks <input type="checkbox"/> Waiver or Modification	<input type="checkbox"/> Other :
<input checked="" type="checkbox"/> E1 Surface water	<input checked="" type="checkbox"/> E1/AS1 <input type="checkbox"/> Waiver or Modification	<input type="checkbox"/> Other :
<input checked="" type="checkbox"/> E2 External moisture	<input checked="" type="checkbox"/> E2/AS1 <input type="checkbox"/> WANZ WIZ <input type="checkbox"/> Cladding Manufacturers Information <input type="checkbox"/> Waiver or Modification	<input type="checkbox"/> Other :
<input checked="" type="checkbox"/> E3 Internal moisture	<input checked="" type="checkbox"/> E3/AS1 <input type="checkbox"/> Waiver or Modification	<input type="checkbox"/> Other :
<input type="checkbox"/> F1 Hazardous agents on site	<input type="checkbox"/> Specify : <input type="checkbox"/> Waiver or Modification	
<input checked="" type="checkbox"/> F2 Hazardous building materials	<input checked="" type="checkbox"/> F2/AS1: NZS 4223 Glazing <input type="checkbox"/> F2/AS1: Asbestos <input type="checkbox"/> Waiver or Modification	<input type="checkbox"/> Other :
<input type="checkbox"/> F3 Hazardous substances and processes	<input type="checkbox"/> Specify : <input type="checkbox"/> Waiver or Modification	
<input type="checkbox"/> F4 Safety from falling	<input type="checkbox"/> F4/AS1 : Barriers <input type="checkbox"/> F4/AS1 : Openings <input type="checkbox"/> Fencing of Swimming Pools Act <input type="checkbox"/> Waiver or Modification	<input type="checkbox"/> Other :
<input checked="" type="checkbox"/> F5 Construction and Demolition hazards	<input checked="" type="checkbox"/> F5/AS1: Work-Site Barriers <input type="checkbox"/> Waiver or Modification	<input type="checkbox"/> Other :
<input checked="" type="checkbox"/> F6 Lighting for emergency	<input checked="" type="checkbox"/> F6/AS1 <input type="checkbox"/> Waiver or Modification	<input type="checkbox"/> Other:

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**BUILDING CODE ASSESSMENT continued...**

- |  |   |                                  |
|--|---|----------------------------------|
| <input checked="" type="checkbox"/> F7 Warning systems                           | <input checked="" type="checkbox"/> F7/AS1: Domestic Smoke Alarms<br><input type="checkbox"/> F7/AS1: NZS 4512 Manual Fire Alarm Systems<br><input type="checkbox"/> NZS 4515 : Residential Fire Sprinklers<br><input type="checkbox"/> NZS 1668 : Smoke Detectors in HVAC systems<br><input type="checkbox"/> Waiver or Modification | <input type="checkbox"/> Other : |
| <input type="checkbox"/> F8 Signs  | <input type="checkbox"/> F8/AS1<br><input type="checkbox"/> Waiver or Modification  | <input type="checkbox"/> Other : |
| <input checked="" type="checkbox"/> G1 Personal hygiene                          | <input checked="" type="checkbox"/> G1/AS1<br><input type="checkbox"/> Waiver or Modification   | <input type="checkbox"/> Other : |
| <input type="checkbox"/> G2 Laundering   | <input type="checkbox"/> G2/AS1<br><input type="checkbox"/> Waiver or Modification  | <input type="checkbox"/> Other : |
| <input checked="" type="checkbox"/> G3 Food prep and prevention of contamination | <input checked="" type="checkbox"/> G3/AS1<br><input type="checkbox"/> Waiver or Modification   | <input type="checkbox"/> Other : |
| <input checked="" type="checkbox"/> G4 Ventilation                               | <input checked="" type="checkbox"/> G4/AS1<br><input type="checkbox"/> AS 1668.2<br><input type="checkbox"/> NZS 5261<br><input type="checkbox"/> Waiver or Modification  | <input type="checkbox"/> Other : |
| <input checked="" type="checkbox"/> G5 Interior environment                      | <input checked="" type="checkbox"/> G5/AS1<br><input type="checkbox"/> Waiver or Modification   | <input type="checkbox"/> Other : |
| <input type="checkbox"/> G6 Airborne and impact sound                            | <input type="checkbox"/> G6/AS1<br><input type="checkbox"/> Waiver or Modification  | <input type="checkbox"/> Other : |
| <input checked="" type="checkbox"/> G7 Natural light                             | <input checked="" type="checkbox"/> G7/AS1<br><input type="checkbox"/> Waiver or Modification   | <input type="checkbox"/> Other : |
| <input type="checkbox"/> G8 Artificial light                                     | <input type="checkbox"/> G8/AS1<br><input type="checkbox"/> Waiver or Modification  | <input type="checkbox"/> Other : |
| <input checked="" type="checkbox"/> G9 Electricity                               | <input checked="" type="checkbox"/> G9/AS1: NZECP 51 Domestic Dwellings<br><input type="checkbox"/> G9/VM1: AS/NZS 3000<br><input type="checkbox"/> Waiver or Modification  | <input type="checkbox"/> Other : |
| <input type="checkbox"/> G10 Piped services                                      | <input type="checkbox"/> G10/AS1<br><input type="checkbox"/> G10/AS1: NZS 5261<br><input type="checkbox"/> Waiver or Modification   | <input type="checkbox"/> Other : |
| <input type="checkbox"/> G11 Gas as an energy source                             | <input type="checkbox"/> G11/AS1<br><input type="checkbox"/> G11/AS1: NZS 5261<br><input type="checkbox"/> Waiver or Modification   | <input type="checkbox"/> Other : |
| <input checked="" type="checkbox"/> G12 Water supplies                           | <input checked="" type="checkbox"/> G12/AS1<br><input type="checkbox"/> G12/AS2: Solar Water Heaters<br><input type="checkbox"/> G12/VM1: AS/NZS 3500.1 Water Services<br><input type="checkbox"/> G12/VM1: AS/NZS 3500.4 Heated Water Services<br><input type="checkbox"/> Waiver or Modification                                    | <input type="checkbox"/> Other : |
| <input checked="" type="checkbox"/> G13 Foul water                               | <input checked="" type="checkbox"/> G13/AS1 : Sanitary Plumbing<br><input type="checkbox"/> G13/AS2 : Drainage<br><input type="checkbox"/> G13/AS3 : AS/NZS 3500.2<br><input type="checkbox"/> G13/VM1: BS 5572<br><input type="checkbox"/> Waiver or Modification  | <input type="checkbox"/> Other : |
| <input type="checkbox"/> G14 Industrial liquid Waste                             | <input type="checkbox"/> G14/AS1<br><input type="checkbox"/> Waiver or Modification   | <input type="checkbox"/> Other : |
| <input type="checkbox"/> G15 Solid waste   | <input type="checkbox"/> G15/AS1<br><input type="checkbox"/> Waiver or Modification   | <input type="checkbox"/> Other : |

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BUILDING CODE ASSESSMENT continued...

H1 Energy efficiency provisions

- H1/AS1 : NZS 4218 Schedule Method
  - H1/AS1 : NZS 4218 Calculation Method
  - H1/AS1 : NZS 4243 Large buildings other than housing
  - H1/AS1 : NZS 4243 Artificial Lighting
  - H1/VM1 : NZS 4218 Modelling method
  - BRANZ ALF
  - Waiver or Modification
- Other :

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**SPECIFIED SYSTEMS LIST**

Code	Type of System	Existing	New / Modified	Removed	Number of this type of system
SS 1	Automatic systems for fire suppression				
SS 2	Automatic or manual emergency warning systems				
SS 3/1	Automatic doors				
SS 3/2	Access controlled doors				
SS 3/3	Interfaced fire or smoke doors or windows				
SS 4	Emergency lighting systems				
SS 5	Escape route pressurisation systems				
SS 6	Riser mains				
SS 7	Automatic back-flow preventers				
SS 8/1	Passenger-carrying lifts				
SS 8/2	Service lifts				
SS 8/3	Escalators and moving walks				
SS 9	Mechanical ventilation or air conditioning systems				
SS 10	Building maintenance units				
SS 11	Laboratory fume cupboards				
SS 12/1	Audio loops				
SS 12/2	FM radio frequency systems and infrared beam transmission systems				
SS 13/1	Mechanical smoke control				
SS 13/2	Natural smoke control				
SS 13/3	Smoke curtains				
SS 14/1	Emergency power systems				
SS 14/2	Signs				
SS 15/1	Systems for communicating spoken information intended to facilitate evacuation				
SS 15/2	Final exits				
SS 15/3	Fire separations				
SS 15/4	Signs for communicating information intended to facilitate evacuation				
SS 15/5	Smoke separations				

**NOTE:** For each new or modified specified system you MUST complete and attach one copy of the Specified System Details form (GDC 024). This is required so that Council can prepare a draft compliance schedule prior to the issuing of building consent. This aids expediency when the compliance schedule is required to be issued, upon issue of Code Compliance Certificate. **Your building consent will not be granted without this information.**

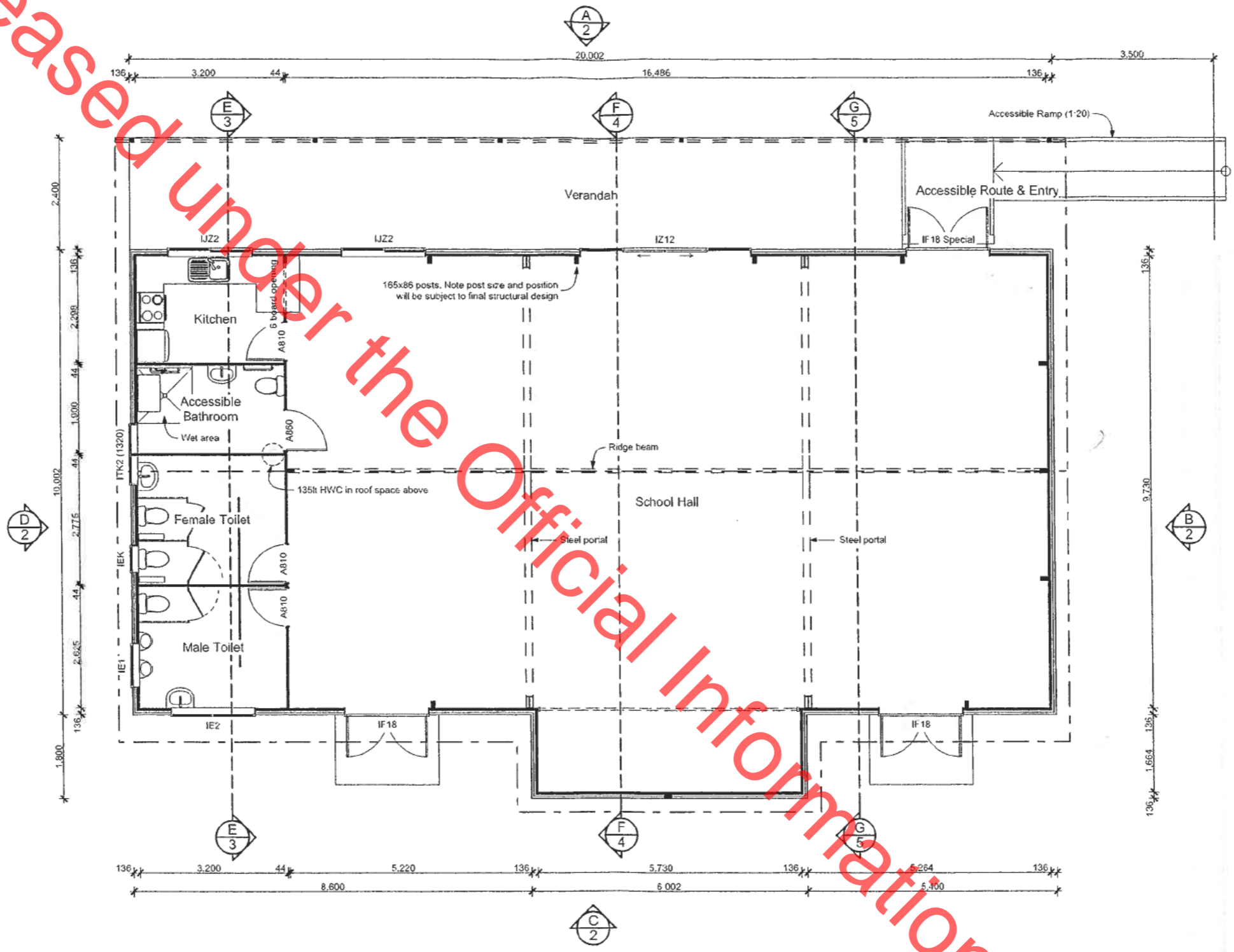
**COUNCIL USE ONLY**

<b>MAX. OCCUPANT LOAD</b>	<b>PURPOSE GROUP</b>	<b>BUILDING OFFICIAL</b>	<b>BCA ISSUED DATE</b>
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**SHEET INDEX:**

Sheet No.	Drawing
1	Floor Plan - Layout
2	Elevations
3	Section E
4	Section F
5	Section G
6	Subfloor Plan
7	Floor Plan - Structure
8	Wall Details
9	Joinery Schedule
10	Joinery Details
11	Roof Framing
12	Roof Plan
13	Access Routes
14	Drainage Plan
15	Site Plan

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-3 DEC 2014



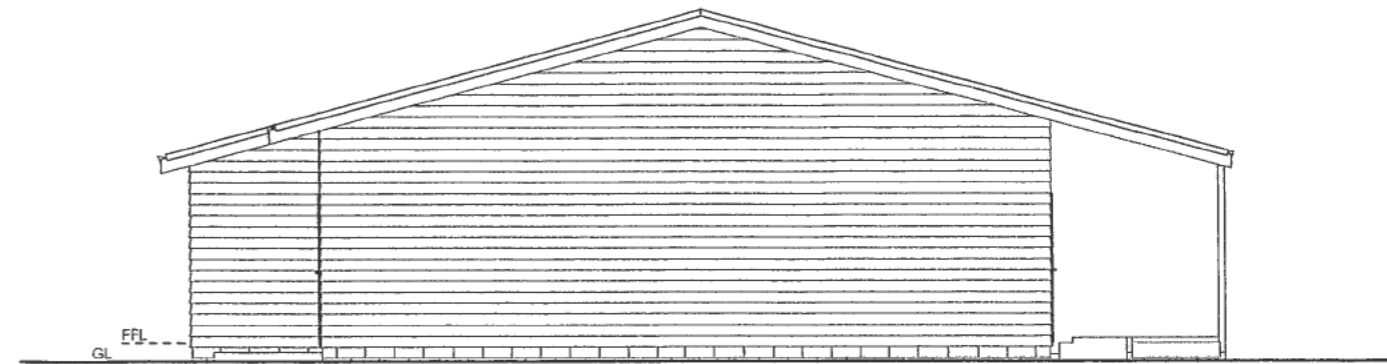
Preliminary

DRAWING TYPE: <b>Floor Plan - Layout</b>	OWNER: <b>Blaketown School</b>	REVISION: -	REVISIONS:	Darin Fenwick Draughting Services, 16 Grand Vue Rd, Rotorua. 07 343 6757	
BUILDING TYPE: <b>School Hall &amp; Toilets</b>	CONTRACTOR: <b>A J Mooney &amp; Co</b>			SCALE: <b>1:100, 1:1 @ A3</b>	SHEET:
				DATE ISSUED: <b>17/10/2014</b>	<b>1 / 15</b>
				FLOOR AREA: <b>210.9m<sup>2</sup></b>	
				JOB NO: <b>1417</b>	DRAWN: <b>DFDS</b>

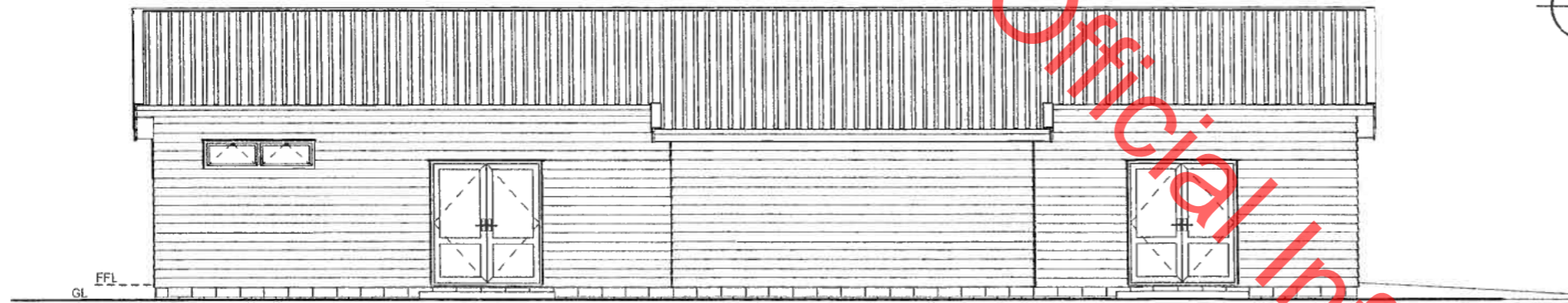
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(A) NORTH ELEVATION



(B) EAST ELEVATION



(C) ELEVATION C



(D) ELEVATION D

Preliminary

DRAWING TYPE: <b>Elevations</b>	OWNER: <b>Blaketown School</b>	REVISION: -	REVISIONS:	Darin Fenwick Draughting Services, 16 Grand Vue Rd, Rotorua. 07 343 6757	
BUILDING TYPE: <b>School Hall &amp; Toilets</b>	CONTRACTOR: <b>A J Mooney &amp; Co</b>			SCALE: <b>1:100 @ A3</b>	SHEET:
				DATE ISSUED: <b>17/10/2014</b>	<b>2 / 15</b>
				FLOOR AREA: <b>210.9m<sup>2</sup></b>	
				JOB NO: <b>1417</b>	DRAWN: <b>DFDS</b>

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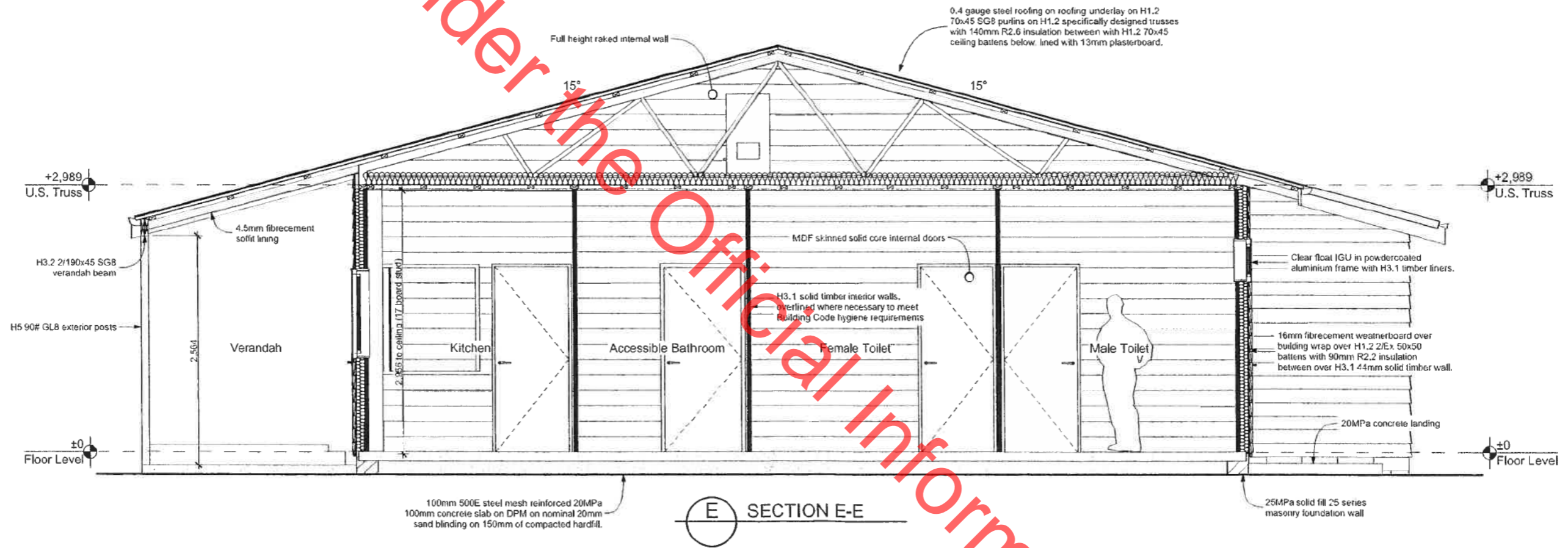
**ROOF NOTES:**

Roof structure shown is provisional only and subject to final design.

The treatment specification to the framing above top plate will meet the requirements of the Building Code. However, to prevent dye runoff onto the timber walls below, such treatment must either carry no dye or shall be H3.2 CCA.

Specific consideration to fixings in ACQ and CuAZ (treatment code 58 & 90 respectively) is required. Where framing is in a "closed" area, they shall be hot dipped galv.

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-3 DEC 2014



Preliminary

DRAWING TYPE:  
**Section E**

BUILDING TYPE:  
**School Hall & Toilets**

OWNER:  
**Blaketown School**

CONTRACTOR:  
**A J Mooney & Co**

REVISION: REVISIONS:

-

Draft Fenwick Drafting Services, 16 Grand Vue Rd, Rotorua. 07 343 6757

SCALE: 1:50 @ A3

DATE ISSUED: 17/10/2014

FLOOR AREA: 210.9m<sup>2</sup>

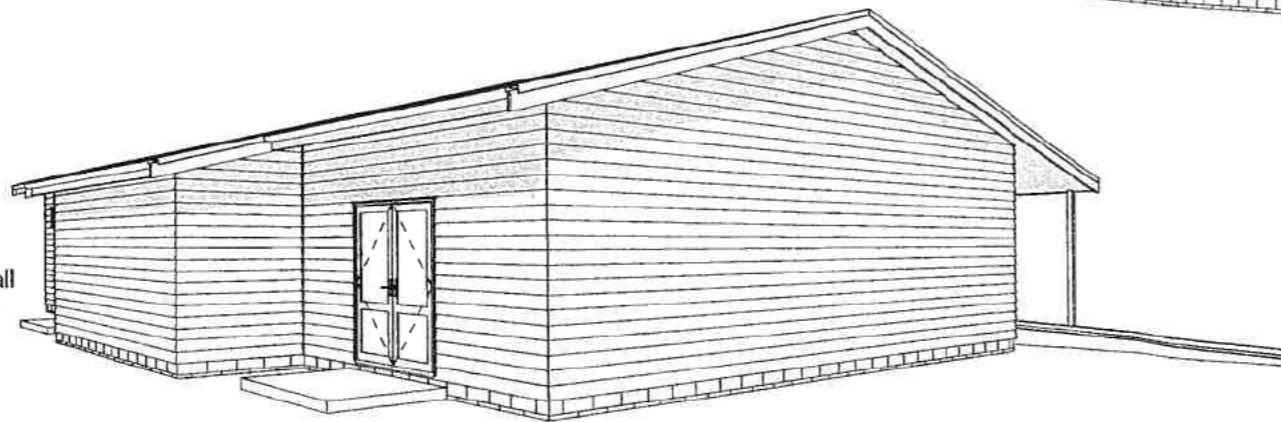
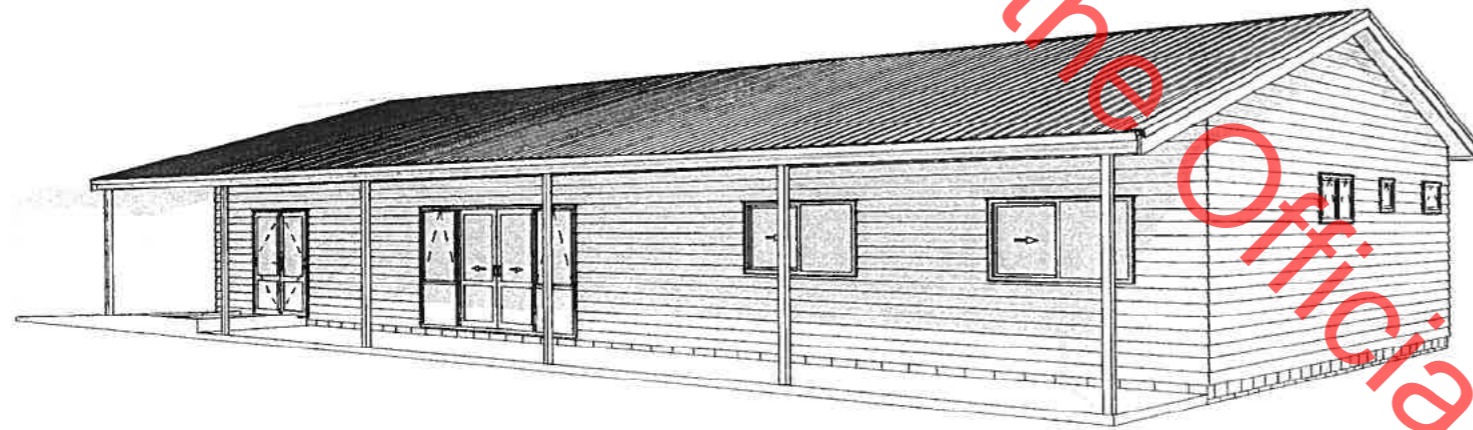
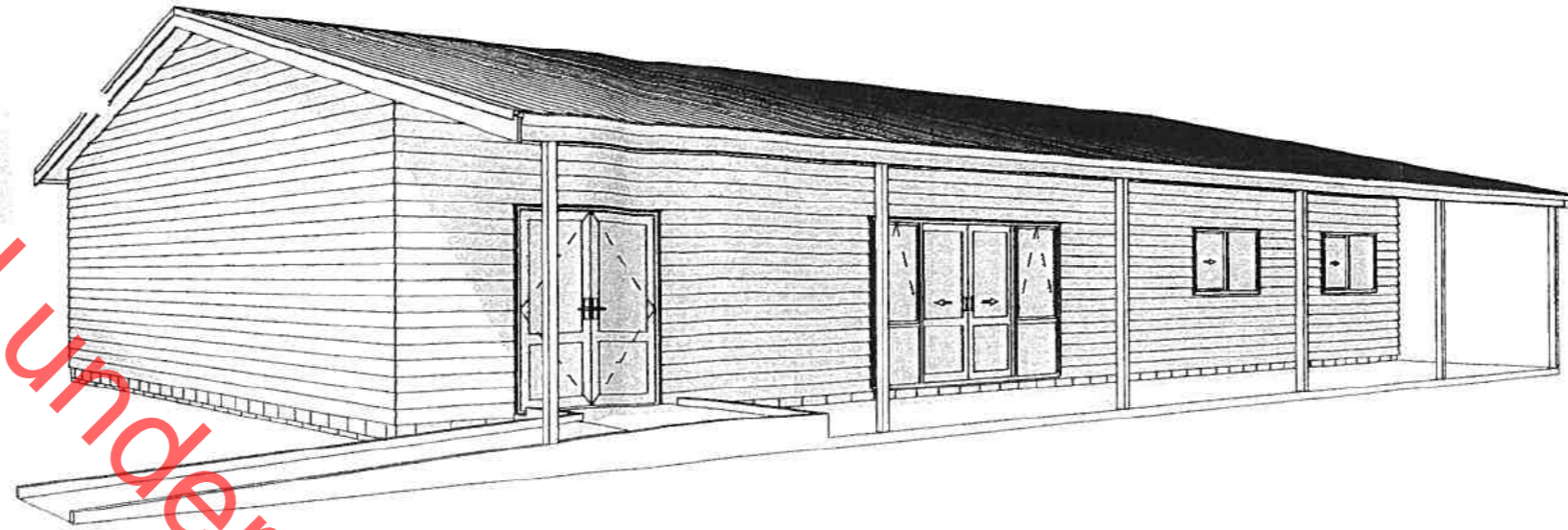
JOB NO: 1417

DRAWN: DFDS

SHEET:

**3 / 15**

GREY  
DISTRICT COUNCIL  
-3 DEC 2014



Friday, 17 October 2014

Project : Blaketown School Hall  
Contractor : A J Mooney & Co  
Project No. : 1417  
Design : School Hall & Toilets  
Floor Area = 210.9m<sup>2</sup>  
Drawing : Perspectives  
Sheet : 1 / 1



## Michelle Martin

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**From:** Michael Belsham  
**Sent:** Monday, 2 February 2015 5:30 p.m.  
**To:** John Gardiner; Michelle Martin  
**Subject:** RE: Draft Determination 2714 "Blaketown" [IN-CONFIDENCE]

Michelle/John,

I've read through the additional information and have following comments:

- The submission mentions Wharenui whereas the paragraph 4.17.6 (i) is for Marae buildings with traditional materials.
- There appear to be three exits from the building. The submission mentions two exitways 1620mm wide each. However C/AS4 requires one exit to be discounted so the exit width of 2 x 1620mm is correct. This meets the requirement for Marae buildings of double the exit width.
- The travel distance appears incorrect for three exits. For three exits total open path length would be 20m not 34m. C/AS4 requires total open path of 50m. For Marae buildings the total open path shall be halved and 20m this would meet the requirement.

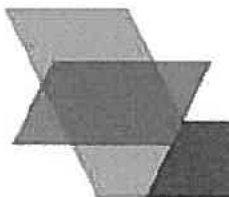
With three double exits the building would achieve the exemption permitted for Marae buildings to paragraph 4.17.6 (i). Is this sufficient to grant a modification?

The additional information does assist however I would want the author to acknowledge the risk of combustible surface finishes and also presence of a kitchen. The building does not have a very high ceiling and smoke detection system is not proposed.

Kind Regards,

**Michael Belsham**  
Fire Engineer

Building System Performance Branch, Infrastructure and Resource Markets  
Ministry of Business, Innovation & Employment  
*Hikina Whakatutuki – Lifting to Make Successful*  
Level 5, 15 Stout St, PO Box 1473, Wellington 6143



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**From:** John Gardiner  
**Sent:** Monday, 2 February 2015 1:56 p.m.  
**To:** Michelle Martin; Michael Belsham  
**Subject:** FW: Draft Determination 2714 "Blaketown"



**Tony Marshall**

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**From:** Michael Belsham  
**Sent:** Wednesday, 17 December 2014 4:37 p.m.  
**To:** John Gardiner; Tony Marshall  
**Subject:** 2714 Blaketown School [IN-CONFIDENCE]

John/Tony,

I've had look through the submission for modification of Clause C3.4(a) for this determination.

The proposal is to modify the C Clause such that Group 3 permitted for school building which requires Group 2 by Clause C3.4. The applicant claims that Group 2 cannot be achieved on the Lockwood Wall System of 44mm solid timber.

The proposal does not present an argument to justify this waiver however demonstrates several inconsistencies between NZBC C Clauses, Acceptable Solutions and Verification Method for achieving the Group Numbers (which we are aware of). The proposal outlines the previous performance requirement for NZBC Clause C3 and proposes to achieve performance object of Clause C1 by Alternative Solution.

The local authority have expressed concern with occupancy of 122 young children in the hall with combustible wall lining which is valid.

As an argument for reduction in fire properties for the wall lining I would expect the applicant to demonstrate the fire safety of the building through looking at the provision of additional smoke detection, short travel distances and increase escape width to reduce the time to evacuate (refer C/ASx paragraph 4.17.6 for guidance on Marae buildings of traditional construction)

It is noted that the Group Numbers are based on a time to flashover for fire as follows:

Group Number	Time to Flashover	Building Use
1	At Least 20 minutes	Sleeping Use Where care and detention is provided and Exitways
2	At least 10 minutes	Crowd and Sleeping Activities
3	At least 2 minutes	All other Areas
4	Less than 2 minutes	Not Permitted

If the applicant wishes to use Group 3 wall lining they should demonstrate that the building can be evacuated within 2 minutes to show that wall linings will not contribute to growth of fire to inhibit escape.

Kind Regards,

**Michael Belsham**  
Fire Engineer

Building System Performance Branch, Infrastructure and Resource Markets  
Ministry of Business, Innovation & Employment  
*Hikina Whahatutuki – Lifting to Make Successful*

[Michael.Belsham@mbie.govt.nz](mailto:Michael.Belsham@mbie.govt.nz) | Telephone: 64 (04) 896 5613 Mobile: § 9(2)(a)  
Level 5, 15 Stout St, PO Box 1473, Wellington 6143

**A1.5 Determining a Group Number for some surface finishes**

For the purposes of compliance with the *surface finish* requirements, the specified combinations of substrate and coating in Table A1 can be taken as having the performance indicated without the need for further evaluation using A1.2 or A1.3.

Coating (coating in good condition and well adhered to substrate)	Substrate	Performance (with or without coating)
Waterborne or solvent borne paint coatings ≤ 0.4 mm thick Polymeric films ≤ 0.2 mm thick	Concrete and masonry ≥ 15 mm thick Sheet metal ≥ 0.4 mm thick, or Fibre-cement board ≥ 6.0 mm thick Glass	G1-S
Waterborne or solvent borne paint coatings ≤ 0.4 mm thick	Gypsum plasterboard with or without paper facing ≥ 9.5 mm thick ≥ 400 kg/m <sup>3</sup> core density ≤ 5% wt organic contribution to board	G2-S
Waterborne or solvent borne paint coatings, varnish or stain ≤ 0.4 mm thick ≤ 100 g/m <sup>2</sup>	Solid wood or wood product ≥ 9.0 mm thick ≥ 600 kg/m <sup>3</sup> for particle boards, or ≥ 400 kg/m <sup>3</sup> for all other wood and wood products	G3

Note: The requirements of this table do not apply to metal faced panels with polymeric substrate.

Amend 3  
Dec 2013

**A1.6 Selecting a substrate for testing materials or coatings usually applied to a substrate**

Materials or coatings that are usually applied to a particular substrate shall be applied to the appropriate substrate. Where the material may be applied to a variety of substrates, the substrate selected for testing shall be one which most closely represents the end use condition. The choice shall be based on Table A2. A test result for a material or coating tested on any one of the specified substrates may be also be used when the material or coating is applied to any other substrate of the same type or a less reactive type and of equal or greater density.

However, Table A2 only applies where the substrate is not modified by the application of a surface coating or treatment.

Amend 4  
Jul 2014

Where the substrate is modified by a surface coating or treatment, through significant absorption of material into it, the coating and substrate should be specifically tested.

Notwithstanding the above, a surface coating on any nominated substrate may be tested and a *Group Number* assigned as described in A1.2 or A1.3.

Substrate type	Substrate material
1 (most reactive)	Timber, Standard grade plywood, hardboard, fibre/particleboard (where the substrate is less than 12 mm thick)
2	Timber, Standard grade plywood, hardboard, fibre/particleboard (where the substrate is 12 mm thick or greater)
3	Paper faced gypsum board products
4 (least reactive)	Concrete/masonry, fibre-reinforced cement board, non-paper faced gypsum boards

Amend 4  
Jul 2014

